

4.0 Limitations

The areas analyzed as part of this investigation only provide isolated data sets and points and do not represent subsurface conditions at every location in the project area. Analyses and conclusions of this report, interpretation between data points, and subjective subsurface interpretation, may not be completely representative of all subsurface conditions.

This investigation furthermore does not provide conclusive data on limits of impact or other interpolations where indicated by question marks or where otherwise qualified.

Conclusions and recommendations of this investigation and report are based on the best available data in an effort to assist in the understanding, control and/or site planning and preparation. No guarantee is expressed or implied that new or additional data and/or scientific measures will not be required for ultimate solution of the existing project.

The State of North Carolina and/or the City of Wilmington are the final permitting authority with regard to this matter.

Should you have any questions and/or concerns please do not hesitate to contact me at (910) 270-2919.

Sincerely,

Walter D. Giese, LSS

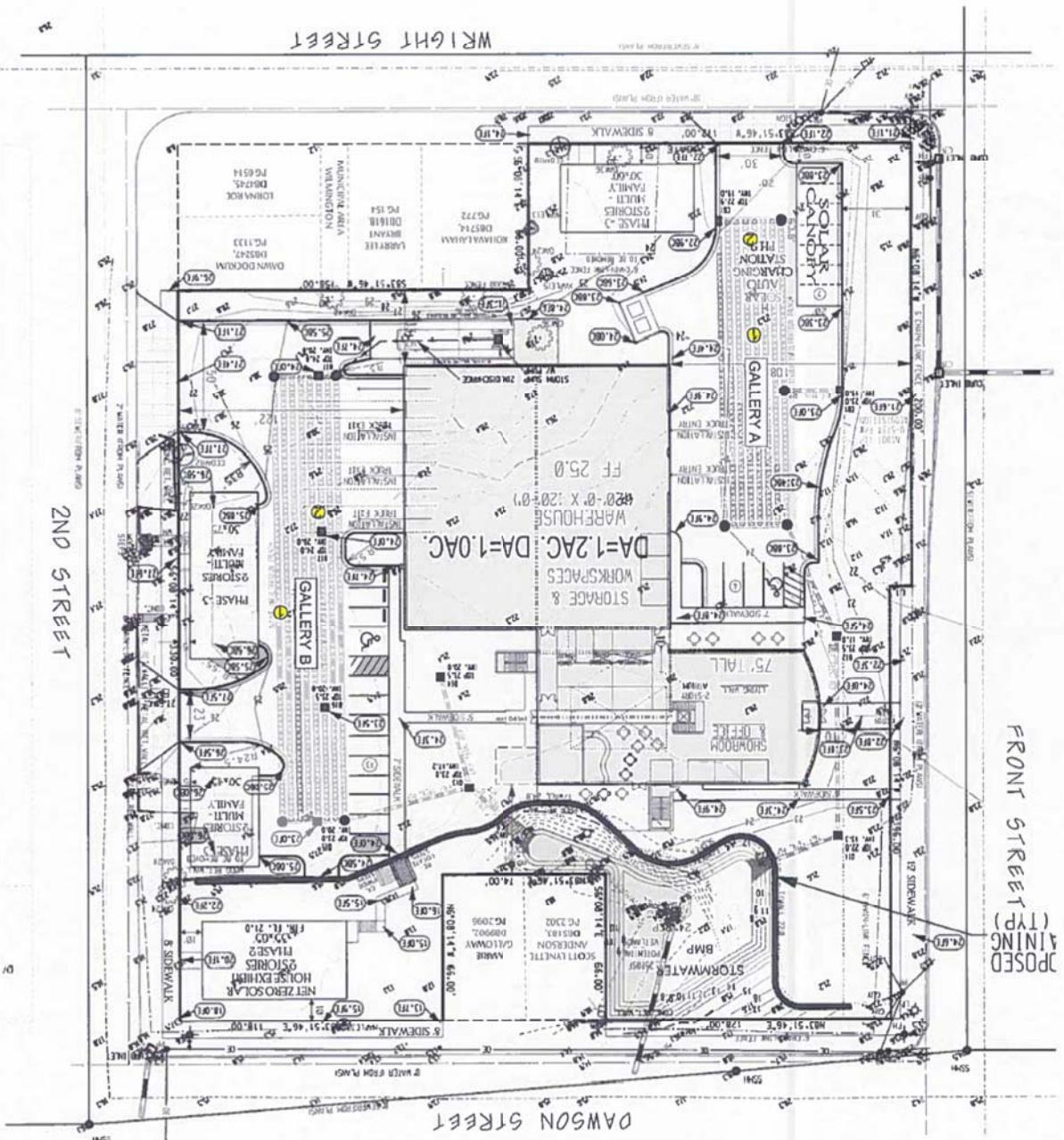
Walter D. Giese, LSS
Project Manager



Map adapted from previous survey by Stroud Engineering, P.A. dated 2/8/18



Location	CCHP 1	CCHP 2
Infiltration Gallery A:	7.62 in/hr	15.7 in/hr
Infiltration Gallery B:	>20.00 in/hr	>20.0 in/hr



PROPOSED
 LAINING
 (TYP)
 FRONT STREET

Appendix A

**Cape Fear Solar
New Hanover County, North Carolina
September 22, 2020**

Logged By: Gene Young, REHS

Gallery A - Pit 1

Soil Description

0 - 96 inches	Mixed fill/building rubble/gravel; saturated at 72"
96 - 120 inches	Very dark gray (10YR 3/1) loamy sand, granular, very friable, non-expansive with shell hash, saturated.

Seasonal High Water Table: 72"

**Cape Fear Solar
New Hanover County, North Carolina
September 22, 2020**

Logged By: Gene Young, REHS

Gallery A - Pit 2

Soil Description

0 - 78 inches	Mixed fill/building rubble/gravel
78 - 82 inches	Very dark gray (10YR 3/1) loamy sand, granular, very friable, non-expansive.
82 - 93 inches	Brownish yellow (10YR 6/6) loamy sand, granular, very friable, non-expansive with reddish yellow (7.5YR 6/8) mottles at 88-89".

Seasonal High Water Table: 88"

**Cape Fear Solar
New Hanover County, North Carolina
September 22, 2020**

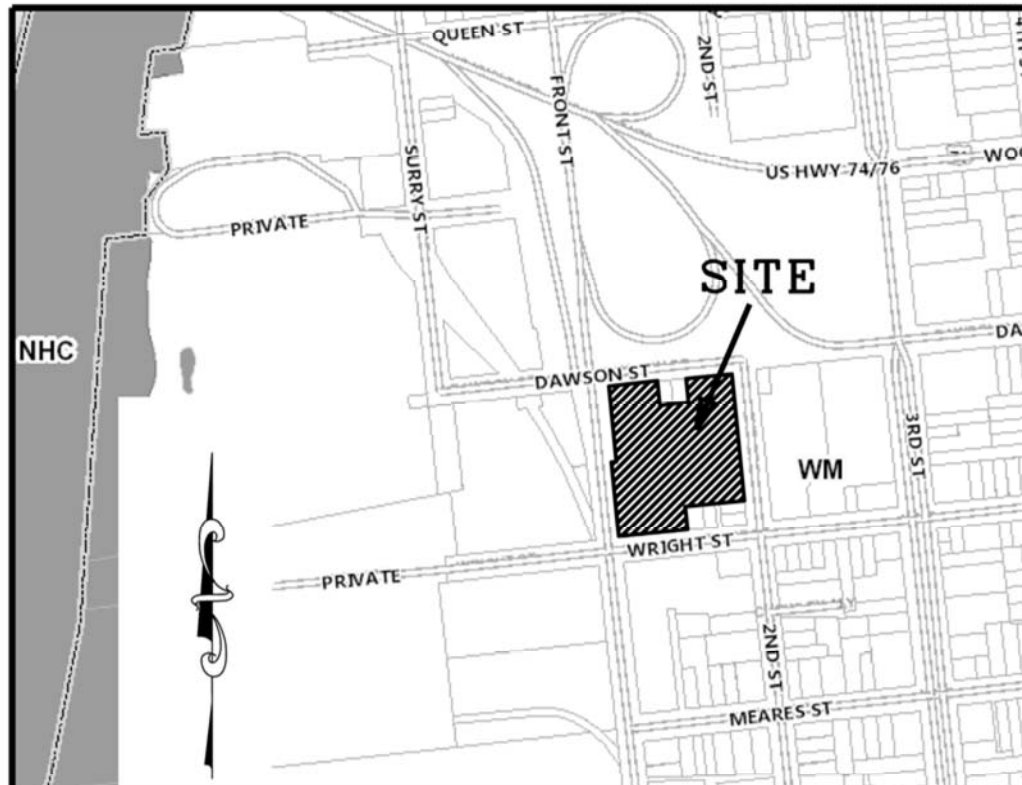
Logged By: Gene Young, REHS

Gallery B - Soil Boring 1

Soil Description

0 - 20 inches	Mixed fill/building rubble/gravel
20 - 24 inches	Gray (10YR 5/1) loamy sand, granular, very friable, non-expansive.
24 - 36 inches	Pale brown (2.5Y 6/3) sand, granular, very friable, non-expansive.
36 - 70 inches	Pale yellow (2.5Y 7/3) sand, granular, very friable, non-expansive.
70 - 115 inches	White (2.5Y 8/1) sand, granular, very friable, non-expansive with few yellowish brown (10RY 5/6) sandy loam lenses, granular, friable, slightly expansive with brownish yellow (10YR 6/8) mottles at 110".

Seasonal High Water Table: 110"



VICINITY MAP

TRACT AREA: 2.6 AC, 113,408 SF
 ADDRESS: 910 S. 2ND STREET
 ZONING: URM-URBAN MIX USE
 BUILDINGS PROPOSED: 14,400 SF
 TAX P#18: R05413-002-002-000
 DEED BOOK/PAGE: 5845/629
 CAMA LUC: 5845/629
 BUILDING SETBACKS (UMX):
 FRONT: 10' MAX, BUILDING SETBACKS PROVIDED: 10' MAX
 SIDE: 5', SIDE: 5'
 REAR: 5', REAR: 75' - BY SUP
 BUILDING HEIGHT: 35 FT
 BUILDING COVERAGES:
 PHASE 1 WAREHOUSE: 14,400 SF
 PHASE 2 NET ZERO: 2,630 SF
 PHASE 3 RESIDENTIAL: 5,100 SF
 TOTAL COVERAGE: 30,230 SF
 COVERAGE %: 26.7%
 BGC BLDG. CONST. TYPE: TYPE 11 B
 RECEIVING STREAM: CAPE FEAR RIVER
 CLASSIFICATION: SC
 REQUIRED PARKING SPACES (REG/ANDCP):
 PROPOSED PARKING SPACES (REG/ANDCP): 10
 OFF-STREET PARKING CALCULATIONS (MAX/MIN/S):
 WAREHOUSE PARKING AT 36 PER PLANNING: 10
 OFFICE PARKING AT 41 PER PLANNING: 18
 RESIDENTIAL PARKING AT 25 PER PLANNING: 18
 MAXIMUM PARKING TO BE 102 PER PLANNING: 38
 LOADING/UNLOADING SPACE DIMENSIONS: 16' WIDE X 65' LONG
 LATITUDE: -34°13'24.38"N
 LONGITUDE: -77°56'47.9"W
 TTE TRAFFIC CODE/INTENSITY: WAREHOUSE 150/14.4KSF @ 3.56 DT/KSF = 51 DT
 GEN. OFFICE 110/21.6KSF @ 11.03 DT/KSF = 238 DT
 RESIDENTIAL APARTMENT 220/10.8KSF @ 6.65 DT/SF = 72 DT
 AVERAGE WEEKDAY: TOTAL = 361 DT
 AM PEAK: 44 PHT
 PM PEAK: 44 PHT
 NO. OF REQUIRED BICYCLE PARKING SPACES: 34
 NO. OF BICYCLE PARKING SPACES PROVIDED: 34

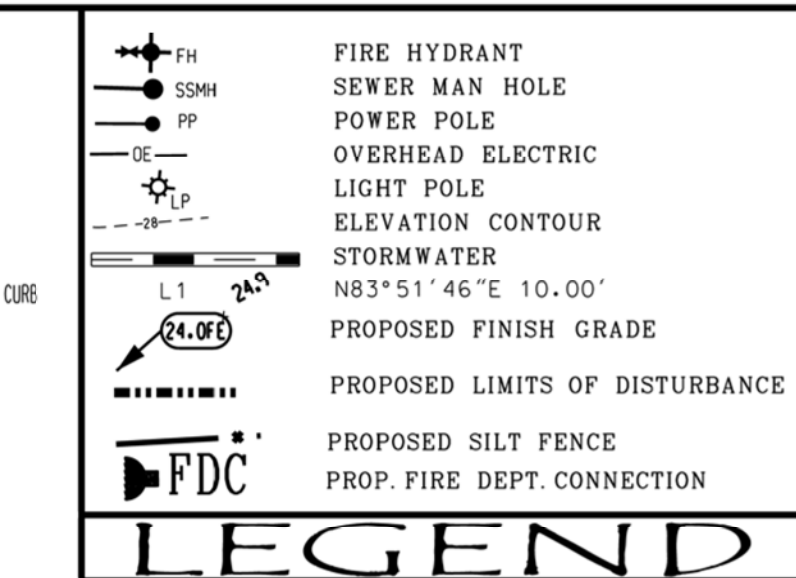
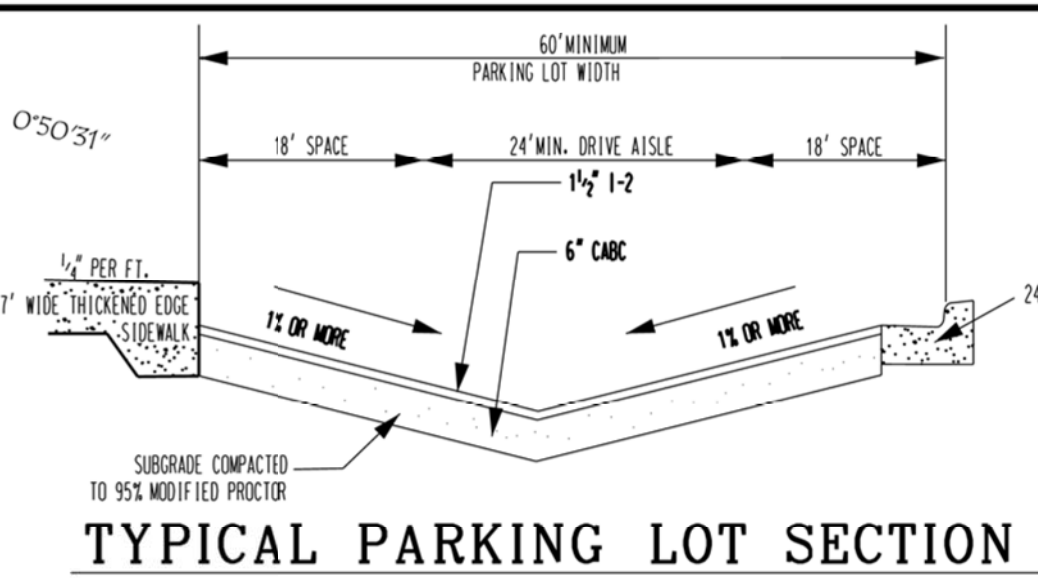
SITE DATA

CITY OF WILMINGTON SPECIAL USE PERMIT SU-6-1119 CONDITIONS

- The property shall be subject to all of the specific requirements stated in the Land Development Code for the proposed use as well as any additional conditions stated below.
- The use and development of the property shall comply with all other supplemental regulations and requirements imposed by the Land Development Code or any other applicable federal, state or local law, ordinance or regulation. In the event of a conflict, the more stringent requirement or higher standard shall apply.
- If, for any reason, any condition for approval is found to be illegal or invalid or if the applicant should fail to accept any condition following approval, the approval of the site plan for the district shall be null and void and of no effect and proceedings shall be instituted to rezone the property to its previous zoning classification.
- The use and development of the property shall be in accordance with the plans and elevations as submitted and approved.
- No portion of the office structure shall exceed 75 feet in height.
- The warehouse structure shall not exceed 14,994 square feet in size.
- Approval of this special use permit does not constitute technical approval of the site plan. All Technical Review Committee comments shall be followed prior to issuance of a construction release or final zoning approval.
- Deliveries hours shall be restricted to between 7:00 am to 9:00 pm.
- A 5-foot high vegetative buffer with a minimum depth of ten (10) feet shall be provided between the existing residences on Wright and S. 2nd Streets and the loading dock area to screen potential noise.
- In all instances, lighting shall be located, angled, shielded, and/or limited in intensity so as to cast no light upon adjacent residential properties.
- Building placement along S. Front Street shall be adjusted as necessary to accommodate the incoming NCDOT project U-5734 on S. Front Street.
- All phases must be completed within five (5) years of initial construction plan approval.
- All City, State and Federal regulations shall be met.

FIRE & LIFE SAFETY NOTES

- STANDPIPES WILL BE REQUIRED IF THE FLOOR ELEVATION IS GREATER THAN 30' ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS.
- CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
- A HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE).
- FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
- ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696.
- CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
- ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND THE RISER ROOM, MUST BE ELECTRICALLY SUPERVISED.

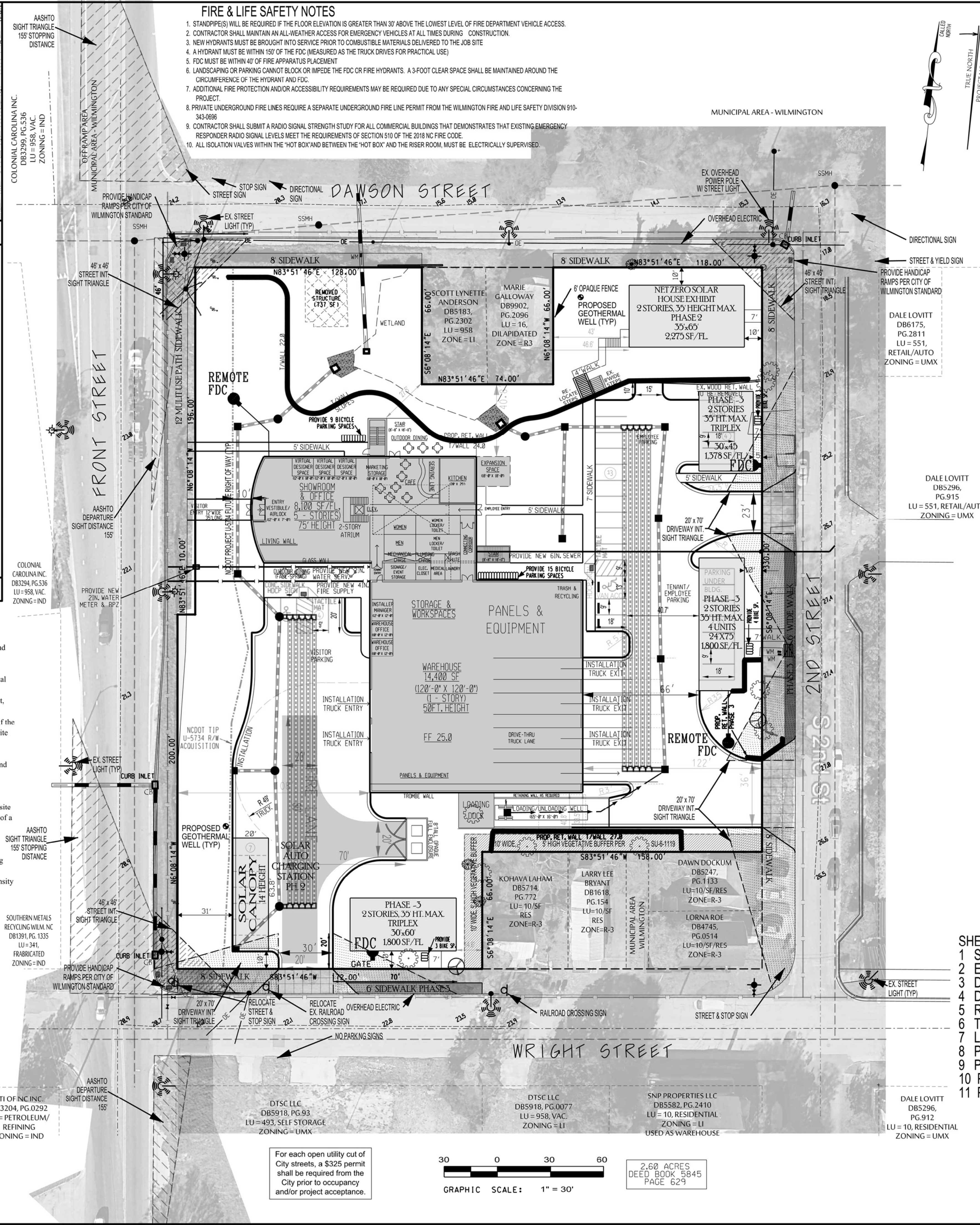


GENERAL NOTES:

- THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD ZONE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION FOR LOCATION OF UNDERGROUND UTILITIES CONTACT U-LOCO AT 1-800-632-4949.
- ALL ROOF DRAINS SHALL BE DIRECTED TO THE COLLECTION SYSTEM.
- CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
- CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
- SITE LIGHTING WILL BE CONTAINED DOWNWARD AND INWARD TO SAFEGUARD ADJACENT PROPERTIES FROM BEING ADVERSELY AFFECTED FROM SUCH LIGHTING.
- STANDPIPES WILL BE REQUIRED IF THE FLOOR ELEVATION IS GREATER THAN 30' ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS.
- FUTURE PHASE BUILDING DESIGN SHALL COMPLY WITH THE CITY OF WILMINGTON DEVELOPMENT CODE SECTION 18-204(d)(2).
- PROPERTY LIES WITHIN THE 1945 CORPORATE LIMITS AS REPRESENTED BY BLOCK 31 OF MAP OF WILMINGTON, NC.

CITY OF WILMINGTON NOTES

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- TRAFFIC ENGINEERING MAY BE CONTACTED REGARDING THE UTILITIES IN THE ROW, BUT CONTACT 811 PRIOR TO CONTACTING THE CITY OF WILMINGTON.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CPUPA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CPUPA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CPUPA WATER SHALL COMPLY WITH THE CPUPA CROSS CONNECTION CONTROL REGULATIONS. CALL 910-343-3910 FOR INFORMATION.
- ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CPUPA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USC/CCCHR OR ASSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1.800.632.4949 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.
- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
- PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS.
- NCDOT/CITY OF WILMINGTON WILMINGTON WILL NOT ALLOW OBSTRUCTIONS WITHIN THE RIGHT OF WAY.
- TRANSPORTATION PLANNING STAFF WILL REVIEW THE LANDSCAPE PLAN ONCE SUBMITTED FOR COMPLIANCE WITH SIGHT DISTANCE REQUIREMENTS.
- SOLID WASTE DISPOSAL WILL BE BY DUMPSTER MAINTAINED BY A PRIVATE WASTE HAULER CONTRACT.
- DUMPSTER SCREENING SHALL COMPLY WITH SECTION 18-204(c)(7)(b) OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
- TRAFFIC SIGN INSTALLATION OR THOSE REQUIRING RELOCATION THROUGH THE COURSE OF CONSTRUCTION MUST BE COORDINATED WITH CITY TRAFFIC SIGNS AND MARKINGS MANAGER PRIOR TO REMOVAL.
- ALL SIDEWALK CONSTRUCTION SHALL COMPLY WITH THE CITY OF WILMINGTON TECHNICAL STANDARDS 3D-10 AND ADA SPECIFICATION PARTICULARLY FOR CROSS AND LONGITUDINAL SLOPE.
- STREET TREES MUST BE LOCATED A MINIMUM OF FIFTEEN FEET FROM STREET LIGHTS.



- ### SHEET INDEX
- SITE PLAN
 - EXISTING CONDITIONS
 - DRAINAGE PLAN
 - DRAINAGE DETAILS
 - RETAINING WALL PROFILE
 - TREE PRESERVATION PLAN
 - LANDSCAPE PLAN
 - PHASE 1 ELEVATIONS
 - PHASE 1 ELEVATIONS
 - PHASE 1 ELEVATIONS
 - PHASE 1 ELEVATIONS

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan	
Name	Date
Planning: _____	_____
Traffic: _____	_____
Fire: _____	_____

PRELIMINARY SITE PLAN

CAPE FEAR SOLAR SYSTEMS

WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

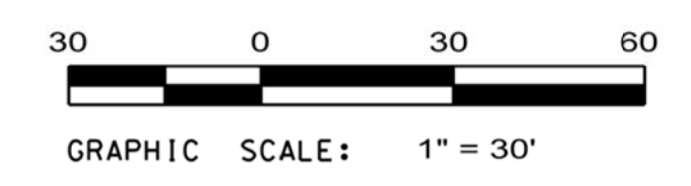
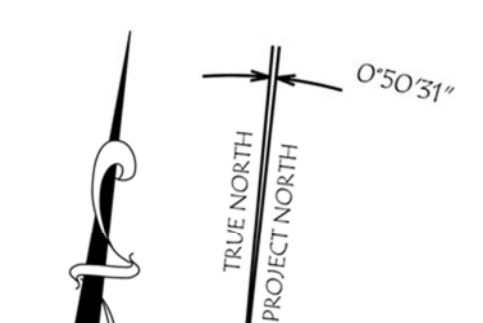
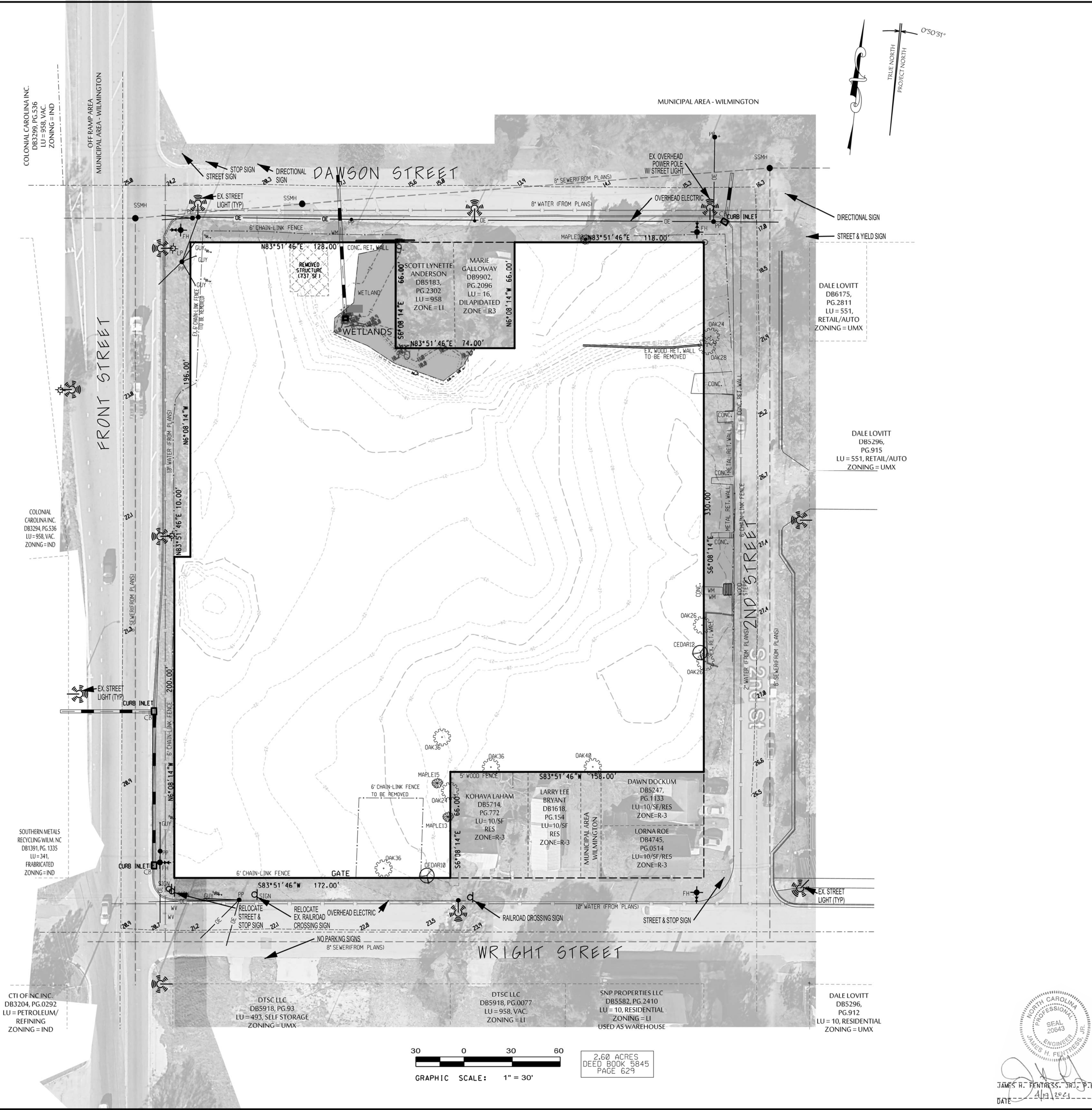
OWNER: Le Dome Holdings LLC	DESIGNED: JHF
ADDRESS: JOHN DONOHUE 910 MARTIN ST. UNIT A WILMINGTON, NC 28401	DRAWN: JHF
PHONE: 910-409-5353 john@CapeFearSolarSystems.com	APPROVED: JHF
STROUD ENGINEERING, P.A.	DATE: 2/26/21
102-D CINEMA DRIVE WILMINGTON, NORTH CAROLINA 28403 (910) 815-0775 (910) 815-0593 FAX	SCALE: 1" = 30'
	SHEET 1 OF 11



2.60 ACRES DEED BOOK 5845 PAGE 629

LEGEND

- FIRE HYDRANT
- SEWER MAN HOLE
- POWER POLE
- OVERHEAD ELECTRIC
- LIGHT POLE
- ELEVATION CONTOUR
- STORMWATER
- PROPOSED FINISH GRADE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED SILT FENCE
- PROP. FIRE DEPT. CONNECTION



2.60 ACRES
DEED BOOK 5845
PAGE 629

EXISTING CONDITIONS

CAPE FEAR SOLAR SYSTEMS

WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

OWNER: Le Dome Holdings LLC	DESIGNED: JHF
ADDRESS: JOHN DONOGHUE 910 MARTIN ST. UNIT A WILMINGTON, NC 28401 910-409-5353 john@CapeFearSolarSystems.com	DRAWN: JHF
PHONE:	APPROVED: JHF
	DATE: 2/26/21
STROUD ENGINEERING, P.A. 102-D CINEMA DRIVE WILMINGTON, NORTH CAROLINA 28403 (910) 815-0775 (910) 815-0593 FAX	SCALE: 1" = 30'
	SHEET 2 OF 11

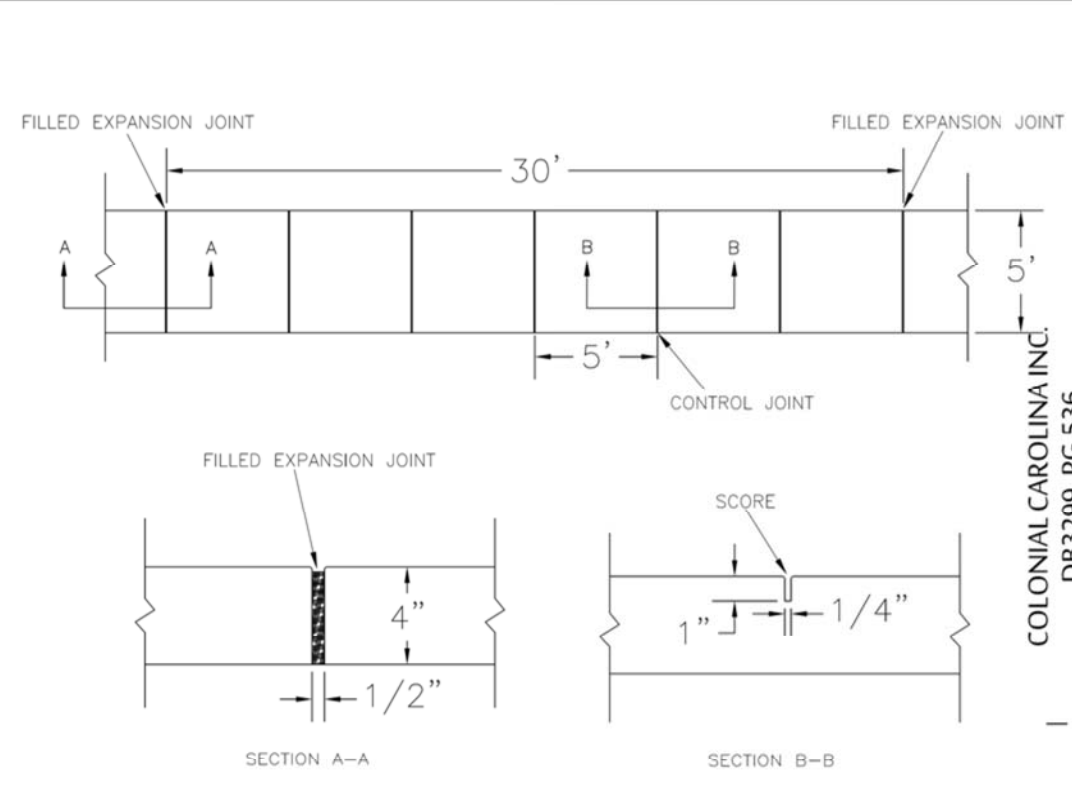
JAMES H. FEINTRESS, JR., P.E.
DATE: 4/13/2021

CAPE FEAR SOLAR IMPERVIOUS SUMMARY

TOTAL BOUNDARY AREA =	113,408 SF	2.60 AC
IMPERVIOUS AREAS		
PARKING PAVEMENT	32,242 SF	
BUILDING (PHASE 1)	22,500 SF	
SIDEWALKS	4,485 SF	
FUTURE (PHASES 2 & 3)	9,230 SF	
TOTAL IMPERVIOUS =	68,457 SF	1.38 AC
TOTAL IMPERVIOUS PERCENTAGE =	60.4%	NO CONSID. FOR PRIOR IMPERV.
BUILDING COVER	26.7%	

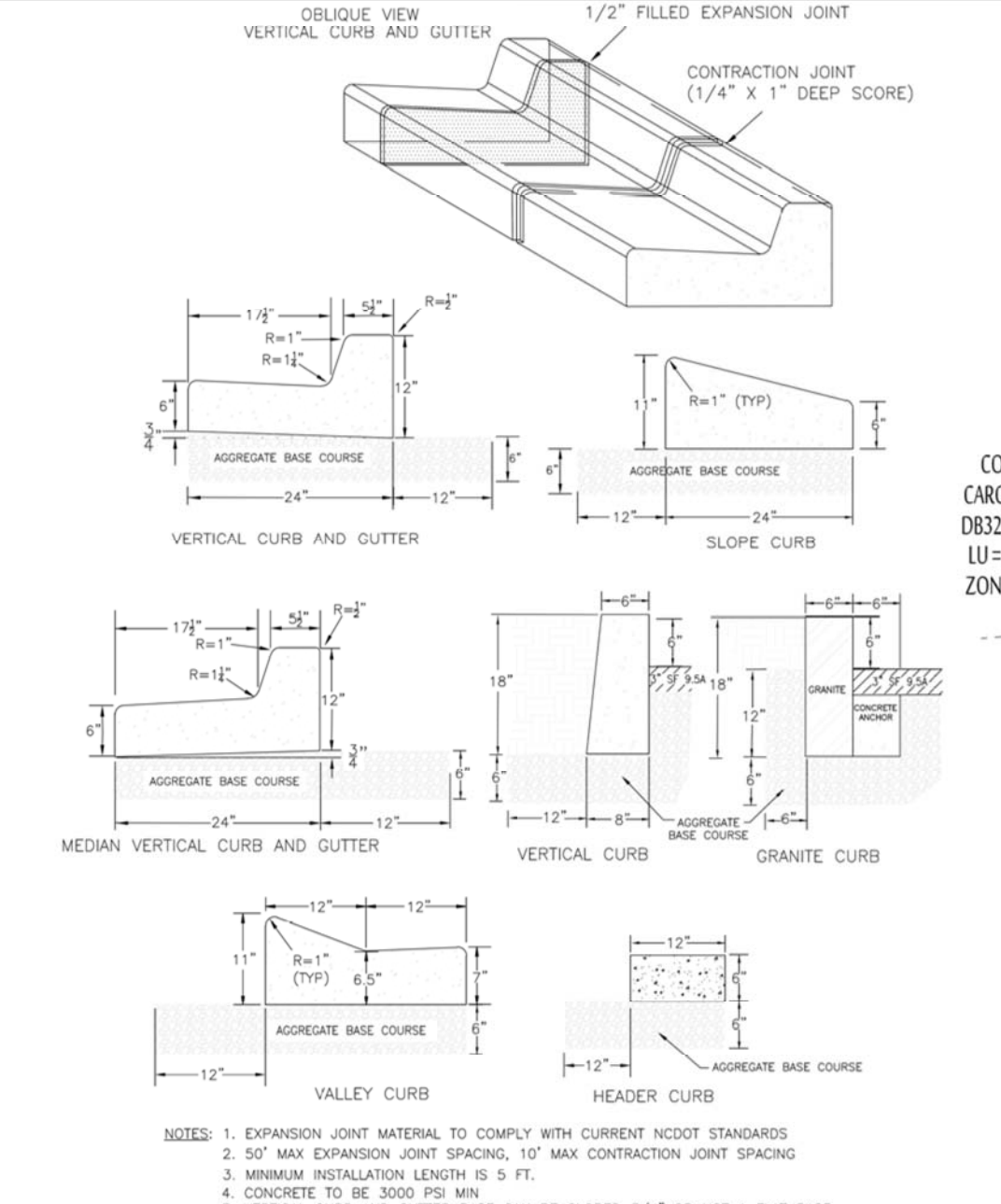


DUMPSTER SCREENING DETAIL

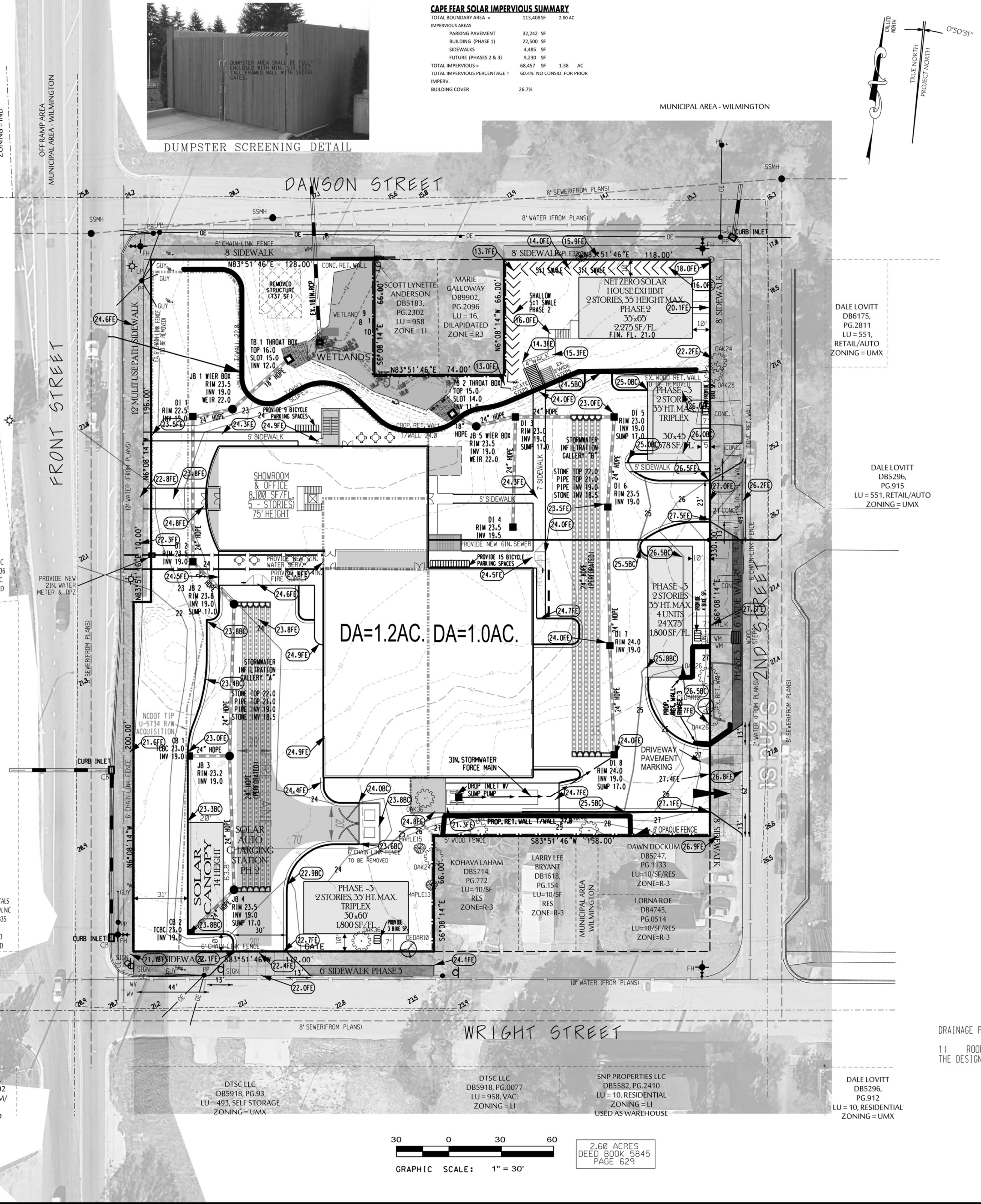
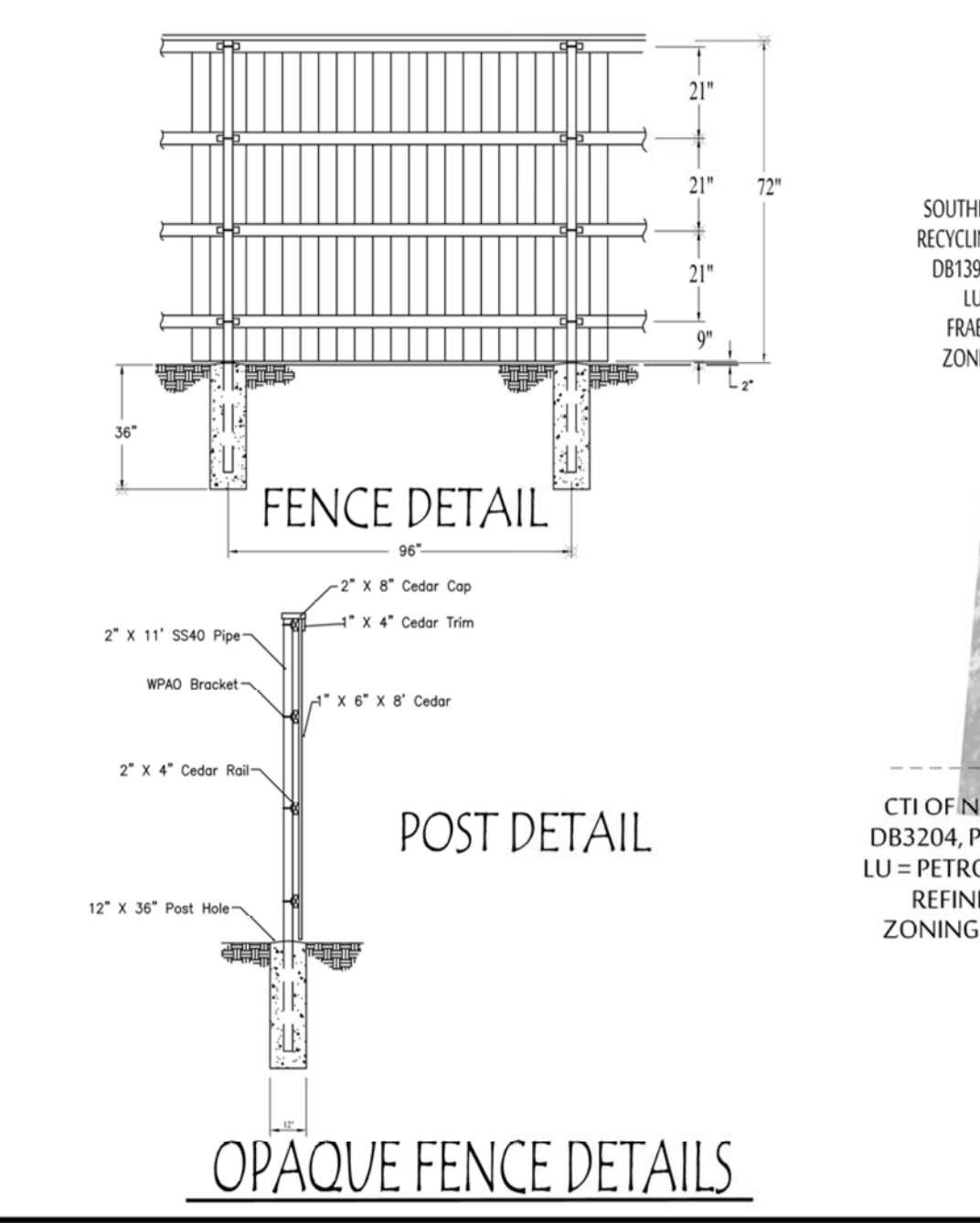


- NOTES:
- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
 - SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
 - MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
 - CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS 74 - 3,000 PSI.
 - MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
 - 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
 - MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12".
 - MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1.
 - MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION, EXISTING SLOPE IS 2% MAX LONGITUDINAL SLOPE IS 8.3% 10% IF LIMITED BY MAXIMUM CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

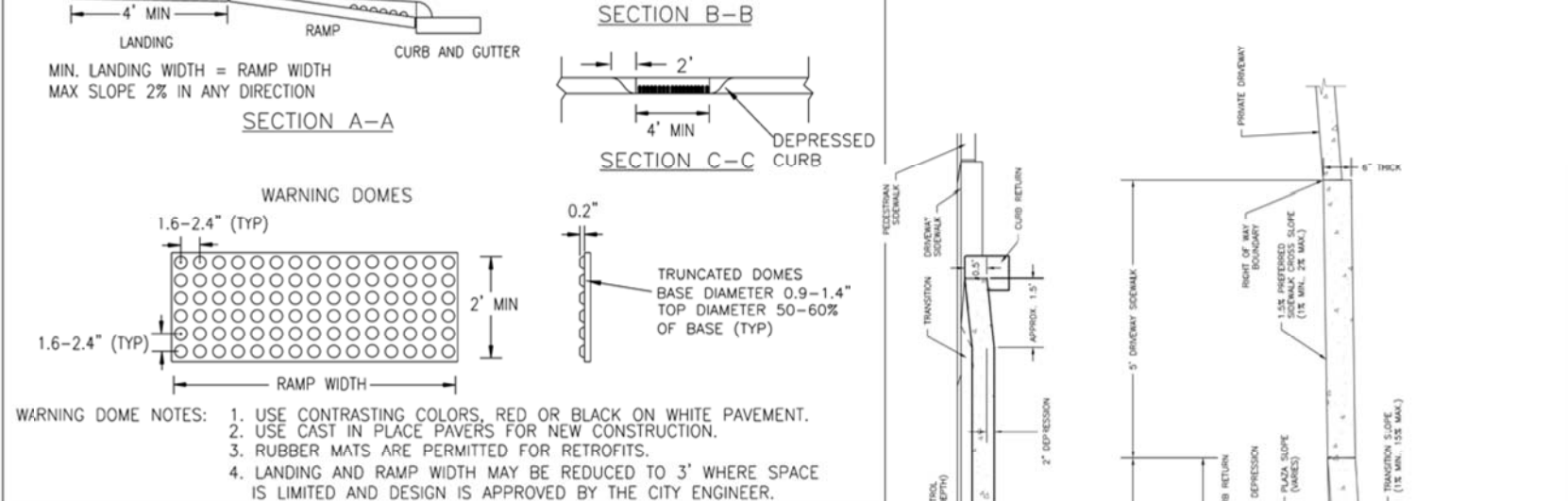
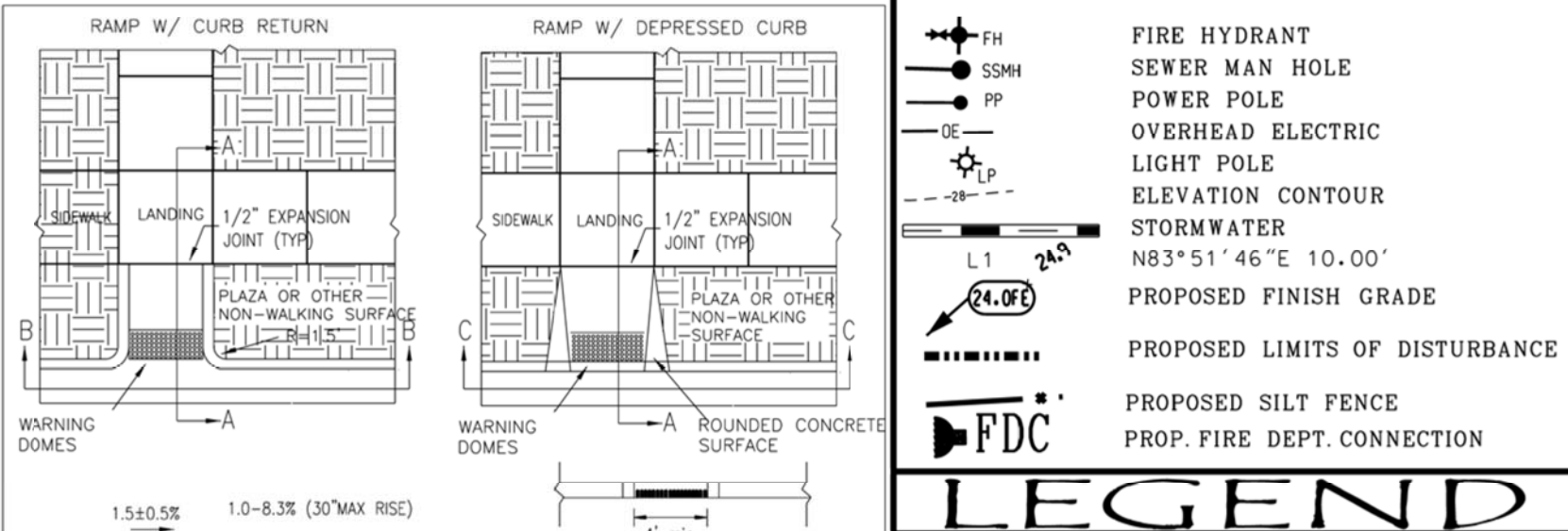
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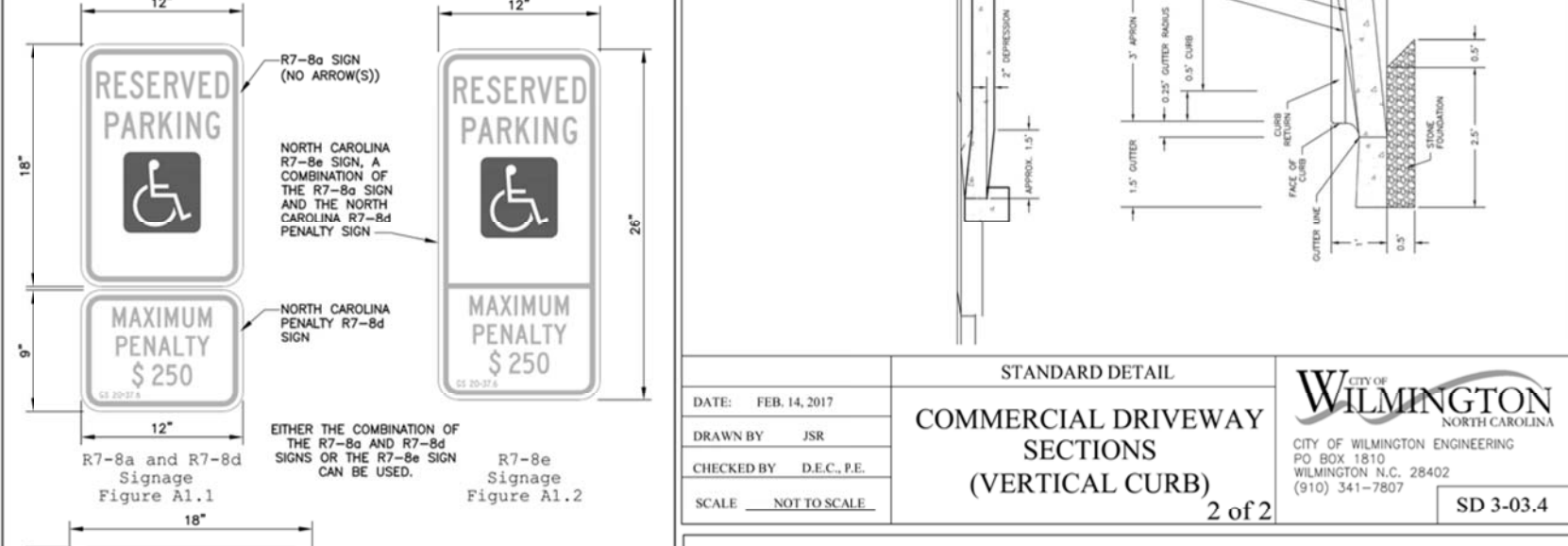
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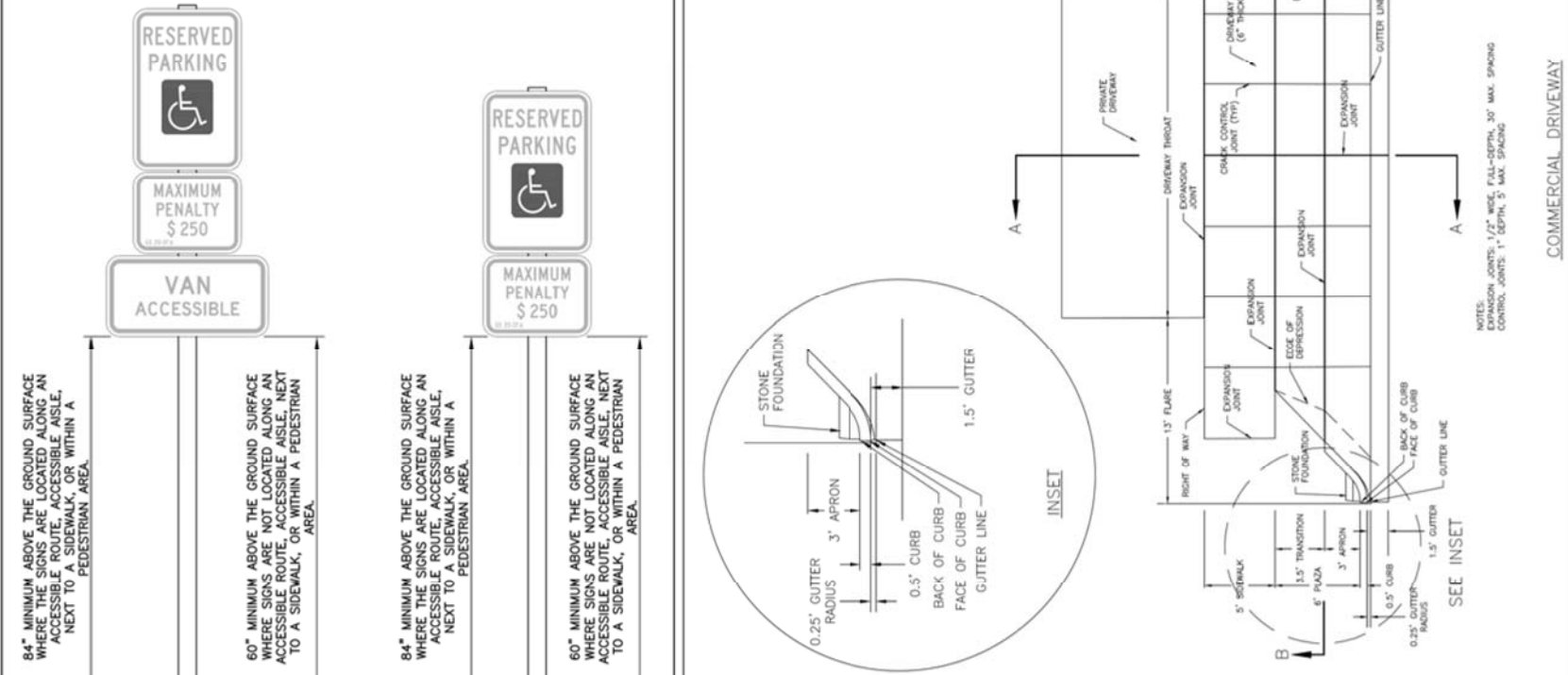
2.60 ACRES
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DATE: DECEMBER, 2009	SD3-08
DRAWN: FRISER	
CHECKED: DEC	
SCALE: NOT TO SCALE	



DATE: FEB. 14, 2017	SD 3-03.4
DRAWN: FRISER	
CHECKED: DEC, P.E.	
SCALE: NOT TO SCALE	



DATE: FEB. 14, 2017	SD 3-03.3
DRAWN: FRISER	
CHECKED: DEC, P.E.	
SCALE: NOT TO SCALE	

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

Date: _____ Permit # _____

Signed: _____

DRAINAGE PLAN NOTES:
1) ROOF GUTTERS SHALL DIRECT ROOF RUNOFF TO THE DESIGN SPECIFIC INFILTRATION SYSTEM.



CAPE FEAR SOLAR SYSTEMS
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

OWNER: **Le Dome Holdings LLC**
ADDRESS: 910 MARTIN ST. UNIT A WILMINGTON, NC 28401
PHONE: 910-409-5353 john@CapeFearSolarSystems.com

DESIGNED: JHF
DRAWN: JHF
APPROVED: JHF
DATE: 2/26/21
SCALE: 1" = 30'
SHEET 3 OF 11

STROUD ENGINEERING, P.A.
102-D CINEMA DRIVE WILMINGTON, NORTH CAROLINA 28403
(910) 815-0775 (910) 815-0593 FAX

NPDES NOTES		
SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, AND DITCHES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND FLATTER THAN 2:1 THEN 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH.
OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)

BUILDING WASTES HANDLING

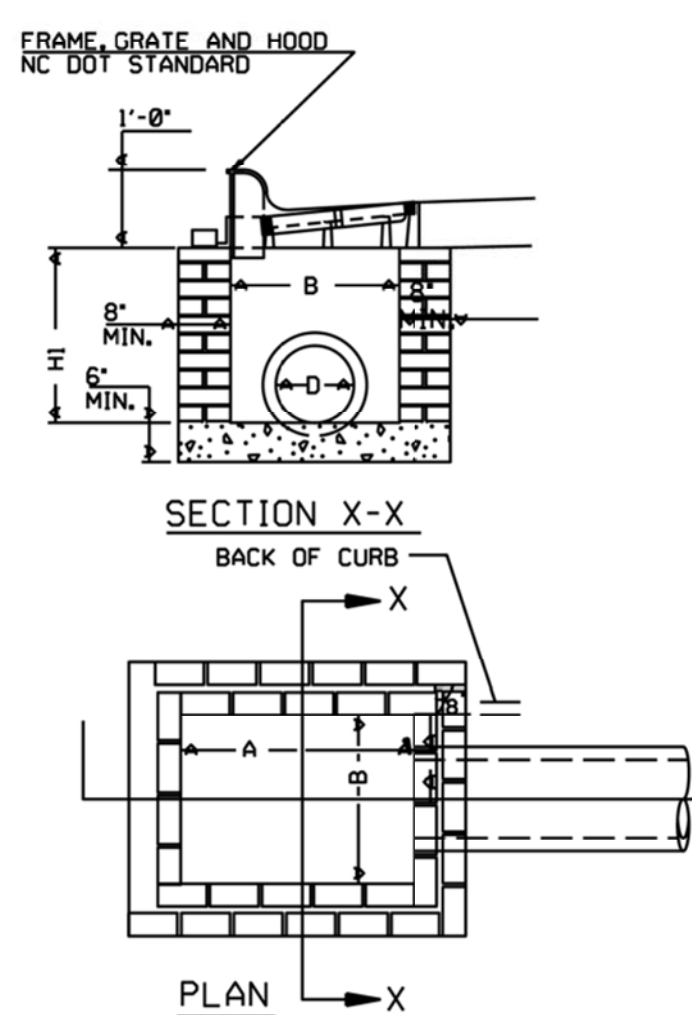
- NO PAINT OR LIQUID WASTES IN STREAMS OR STORM DRAINS.
 - DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION, AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
 - EARTHEN MATERIALS STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
 - CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS, OR BUFFERS.
- INSPECTIONS**
- SAME WEEKLY INSPECTION REQUIREMENTS
 - SAME RAIN GAUGE AND INSPECTIONS AFTER 0.5" RAINFALL EVENT.
 - INSPECTIONS ARE ONLY REQUIRED DURING "NORMAL" BUSINESS HOURS.
 - INSPECTION REPORTS MUST BE AVAILABLE ON SITE DURING BUSINESS HOURS UNLESS A SITE SPECIFIC EXEMPTION IS APPROVED.
 - RECORDS MUST BE KEPT FOR 3 YEARS AND AVAILABLE UPON REQUEST.
 - ELECTRONICALLY AVAILABLE RECORDS MAY BE SUBSTITUTED UNDER CERTAIN CONDITIONS.

SEDIMENT BASINS

- OUTLET STRUCTURES MUST WITHDRAW FROM BASIN SURFACE UNLESS DRAINAGE AREA IS LESS THAN 1 ACRE.
- USE ONLY DND APPROVED FLOCCULENTS.

NPDES SPECIFIC PLAN SHEETS NOTES

- THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL STORMWATER PERMIT NCG010000.
- THIS PAGE CAN BE APPROVED BY THE COUNTY PURJANT TO NPDES GENERAL STORMWATER PERMIT NCG010000 ONLY.
- THIS PAGE OF THE APPROVED PLANS IS ENFORCEABLE EXCLUSIVELY PURJANT TO NPDES GENERAL STORMWATER PERMIT NCG010000.
- THE COUNTY IS NOT AUTHORIZED TO ENFORCE THE PAGE OF THE PLANS AND IT IS NOT A PART OF THE APPROVED PLANS FOR THE PURPOSES OF ENFORCEMENT ACTION UNDER THE COUNTY CODE.

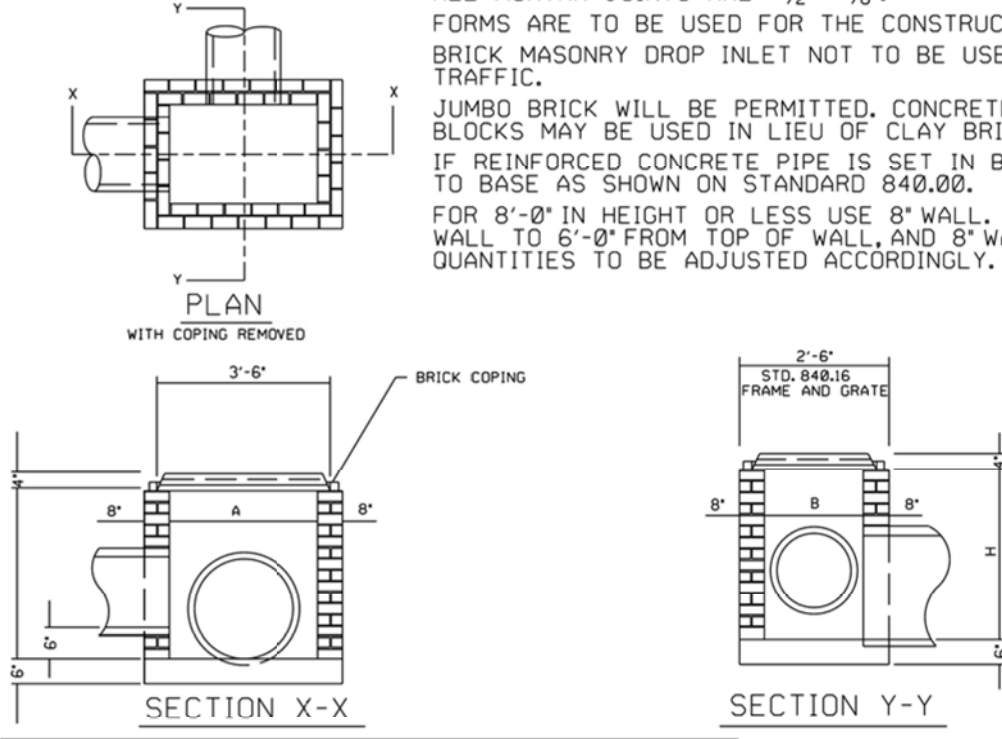


STANDARD CATCH BASIN DETAIL

GENERAL NOTES:
 MORTAR JOINTS 1/2" TO 3/4" THICK.
 CLASS 'B' CONCRETE TO BE USED THROUGHOUT.
 THE POURING OF FLOOR SLAB TO BE ACCOMPLISHED BY FORMING.
 DEDUCT FOR PIPE(S) FROM TOTAL CU. YDS. OF BRICK MASONRY.
 ALL CATCH BASINS OVER 3'-6" IN DEPTH TO BE PROVIDED WITH STEPS 1'-2" ON CENTER. STEPS SHALL BE IN ACCORDANCE WITH STD. NO. 848.66.
 USE TYPE 'E', 'F' AND 'G' GRATES UNLESS OTHERWISE INDICATED.
 JUMBO BRICK WILL BE PERMITTED. CONCRETE BRICK OR 4" SOLID CONCRETE BLOCKS MAY BE USED IN LIEU OF CLAY BRICK.
 IF REINFORCED CONCRETE PIPE IS SET IN BASE SLAB OF BOX, ADD TO BASE AS SHOWN ON STD. NO. 848.00.
 FOR 8'-0" IN HEIGHT OR LESS, USE 8" WALL. OVER 8'-0" IN HEIGHT, USE 12" WALL TO 6'-0" FROM TOP OF WALL AND 8" WALL FOR THE REMAINING 6'-0". QUANTITIES TO BE ADJUSTED ACCORDINGLY.

NTS

GENERAL NOTES:
 ALL DROP INLETS OVER 3'-6" IN DEPTH TO BE PROVIDED WITH STEPS 1'-2" ON CENTERS. STEPS SHALL BE IN ACCORDANCE WITH STD. 848.66.
 CLASS 'B' CONCRETE TO BE USED.
 ALL MORTAR JOINTS ARE 1/2" • 3/4".
 FORMS ARE TO BE USED FOR THE CONSTRUCTION OF THE BOTTOM SLAB.
 BRICK MASONRY DROP INLET NOT TO BE USED IN LOCATIONS SUBJECT TO TRAFFIC.
 JUMBO BRICK WILL BE PERMITTED. CONCRETE BRICK OR 4" SOLID CONCRETE BLOCKS MAY BE USED IN LIEU OF CLAY BRICK.
 IF REINFORCED CONCRETE PIPE IS SET IN BASE SLAB OF BOX, ADD TO BASE AS SHOWN ON STANDARD 848.00.
 FOR 8'-0" IN HEIGHT OR LESS, USE 8" WALL. OVER 8'-0" IN HEIGHT, USE 12" WALL TO 6'-0" FROM TOP OF WALL, AND 8" WALL FOR THE REMAINING 6'-0". QUANTITIES TO BE ADJUSTED ACCORDINGLY.



STANDARD DROP INLET

NTS

COASTAL PLAIN SITE STABILIZATION SCHEDULE

- Fertilize and lime per recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.
- Incorporate lime/fertilizer 4-6 inches.
- Roughen steep slopes by tracked machinery.
- Select species based on season. Refer to tables.
- Broadcast seeds evenly and cover by raking or dragging a chain. Firm soil by rolling.
- Apply straw mulch at a rate 1-2 tons per acre. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool.
- A disk with blades set nearly straight can be used as a mulch anchoring tool.
- Refer to table if growth is not fully adequate. Reseed, refer to table and mulch immediately following erosion or other damage.

Seeding Dates	Recommended Planting	Rate (lb/oc)
Feb. 15 - Apr. 1	Tall Fescue Mixture	see table 2
Sept. 1 - Nov. 1	Hybrid Bermudagrass	see table 2
Apr. 1 - Aug. 1	Common Bermudagrass	see table 2
Mar. 1 - Jul. 1	Centipede grass	see table 2

Site Description	Recommended Planting	Rate (lb/oc)
Well to poorly drained soils	Tall Fescue Mixture	80
	Pensacola Bahiagrass	50
	Kobe Lespedeza	40
Dry to well drained soils	Pensacola Bahiagrass	50
	Common Bermudagrass	30
	Kobe Lespedeza	10
	German Millet	10
Swales	Common Bermudagrass	40-80

Site Description	Recommended Planting	Rate (lb/oc)
Well to poorly drained soils	Tall Fescue Mixture	200
	Rye Grain	25
Dry to well drained soils	Hybrid Bermudagrass	50
Well drained sandy loam to sand, lawns.	Centipede grass	10-20

Notes:
 For seeding outside of recommended dates and/or for temporary stabilization, refer to temporary seeding table.
 For highly erosive areas or as directed by an engineer, sod shall be provided.

Seeding Dates	Recommended Planting	Rate (lb/oc)
Dec. 1 - Apr. 15	Kobe Lespedeza with Rye Grain	50 120
Apr. 15 - Aug. 15	German Millet	40
Aug. 15 - Dec. 1	Rye Grain	120

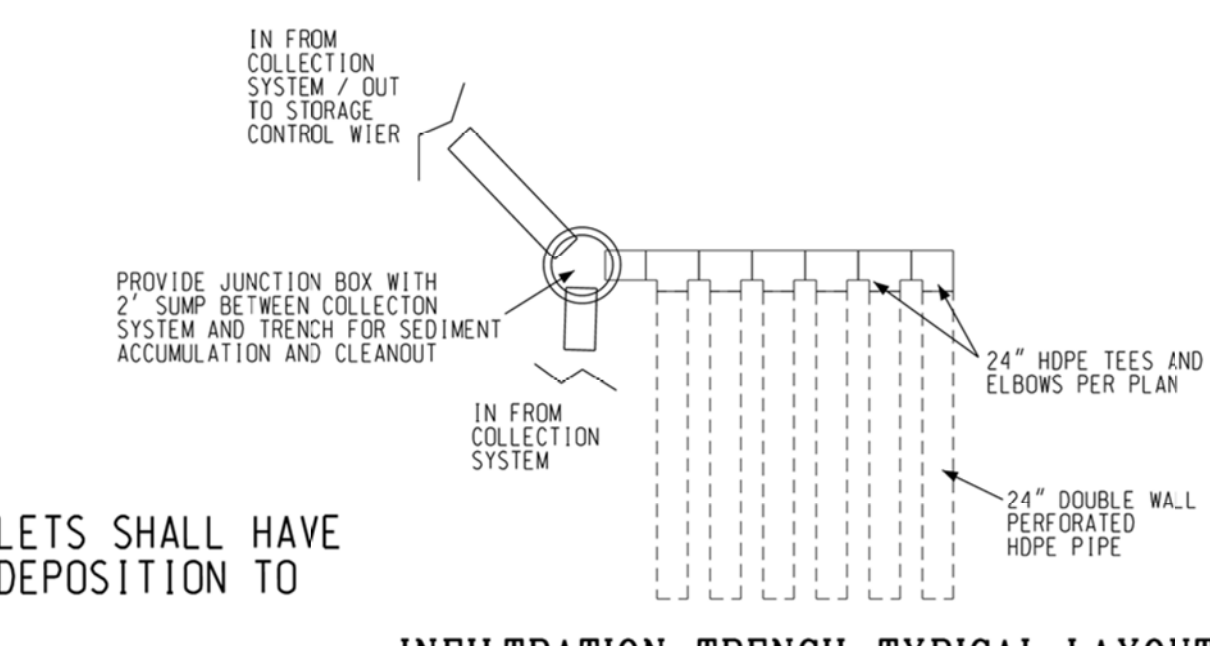
SOD INSTALLATION

- Fertilize and lime per recommendations of soil tests or apply 100 lb/1,000 sf ground agricultural limestone and 25 lb/1,000 sf fertilizer. In the fall, use 10-10-10. In the spring, use 5-10-10.
- Incorporate lime/fertilizer 4-6 inches.
- Rake or harrow to achieve a smooth final grade.
- Roll to achieve a smooth, firm surface on which to lay the sod.
- Lightly rake and irrigate top layer of soil just prior to installation.
- Lay sod in a staggered, brick-like pattern with the longest dimension perpendicular to the slope. Avoid gaps. Use a knife to fit irregular shapes.
- Roll sod lightly after installation to ensure good sod to soil contact.
- Irrigate initially to wet soil to a depth of 4". Keep soil moist for 2-3 weeks thereafter or until sod has taken root.

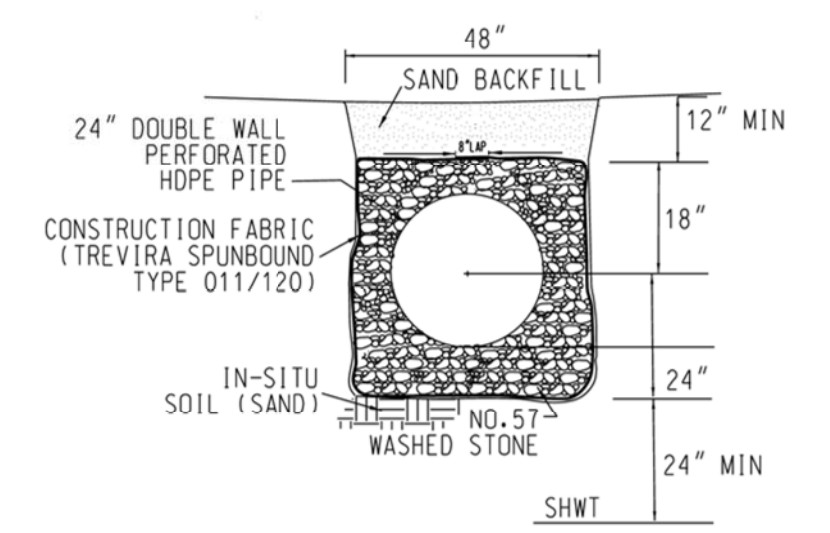
CONSTRUCTION SEQUENCE

- INSTALL INLET PROTECTION, SILT FENCE, AND STONE CONSTRUCTION ENTRANCES.
- CLEAR & GRADE
- INSTALL UNDERGROUND UTILITIES
- INSTALL PAVEMENT
- PROVIDE 100% VEGETATIVE COVER OF ALL DISTURBED SOILS.
- CLEAN SEDIMENT FROM PIPES AFTER STABILIZATION.

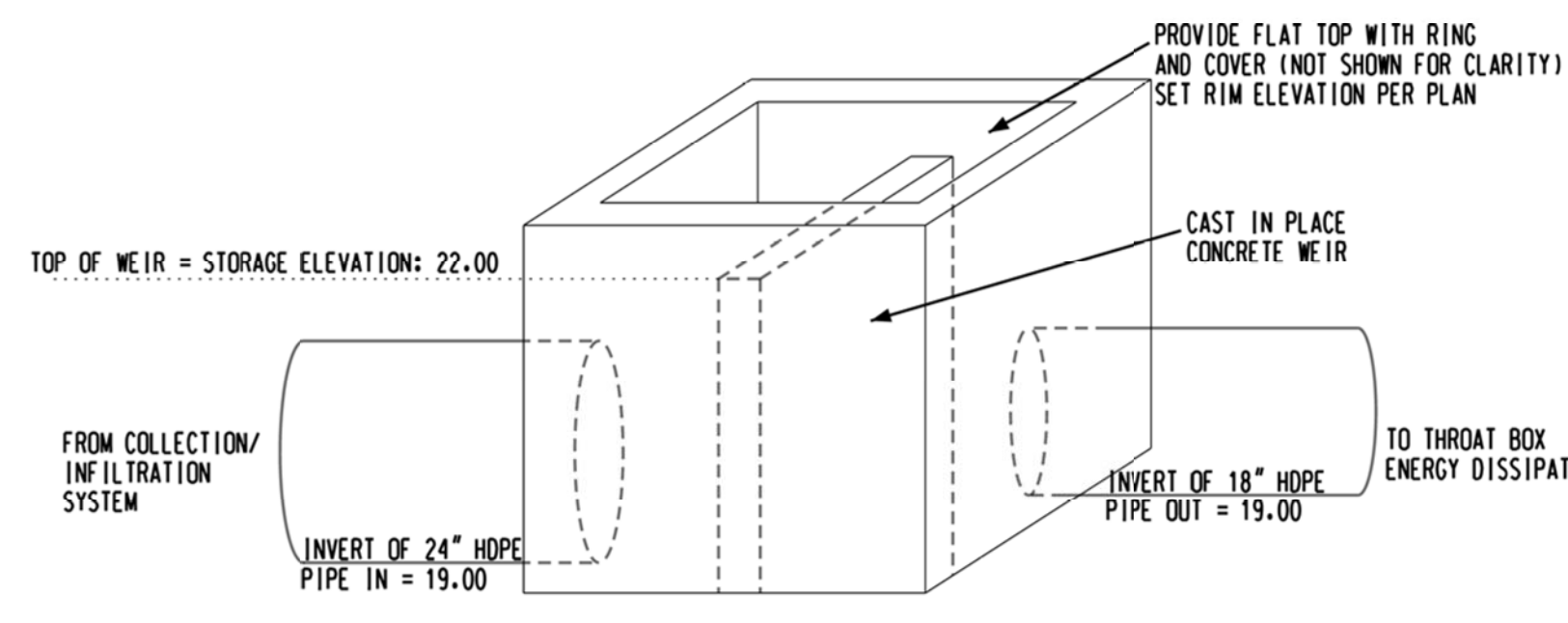
NOTE:
 WETLANDS IN DISTURBED PORTIONS OF SITE SHALL BE PERMITTED BY USACE AND NCECO AS REQUIRED.



INFILTRATION TRENCH TYPICAL LAYOUT

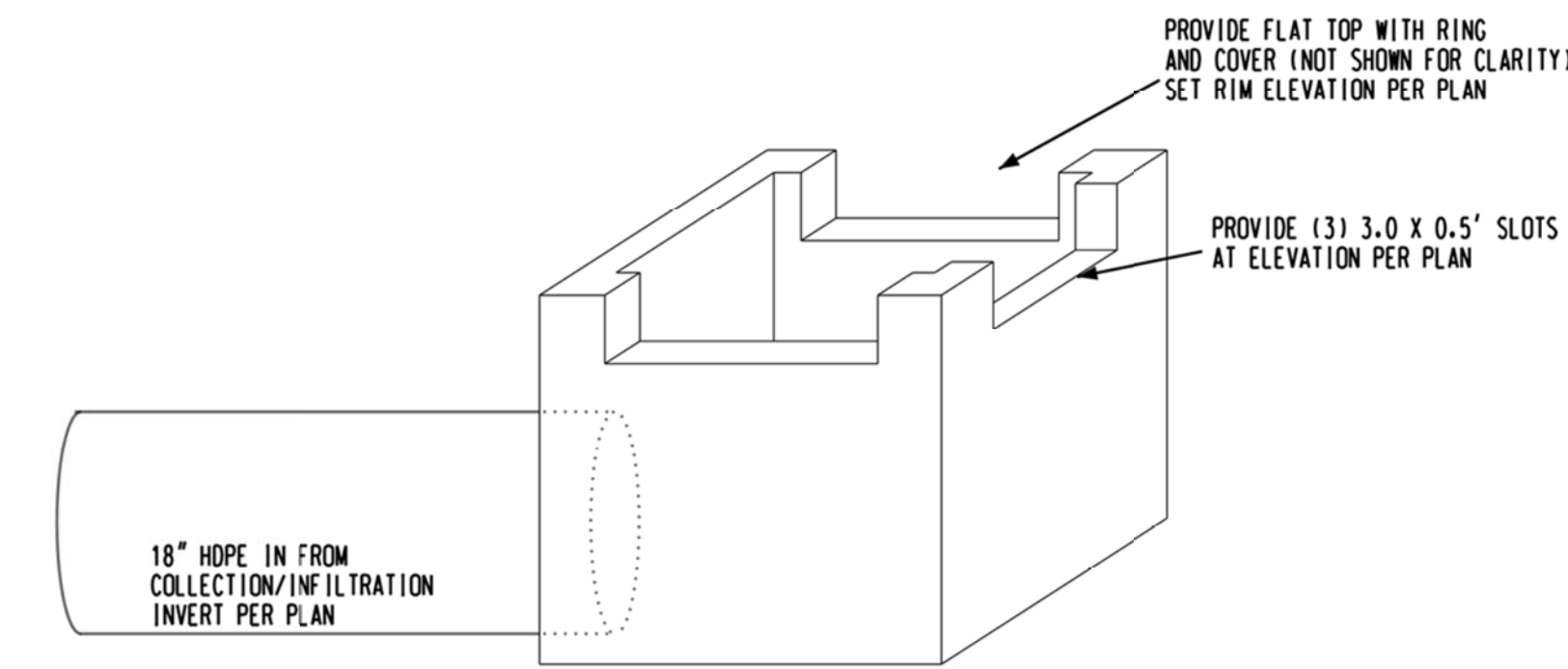


INFILTRATION TRENCH TYPICAL SECTION



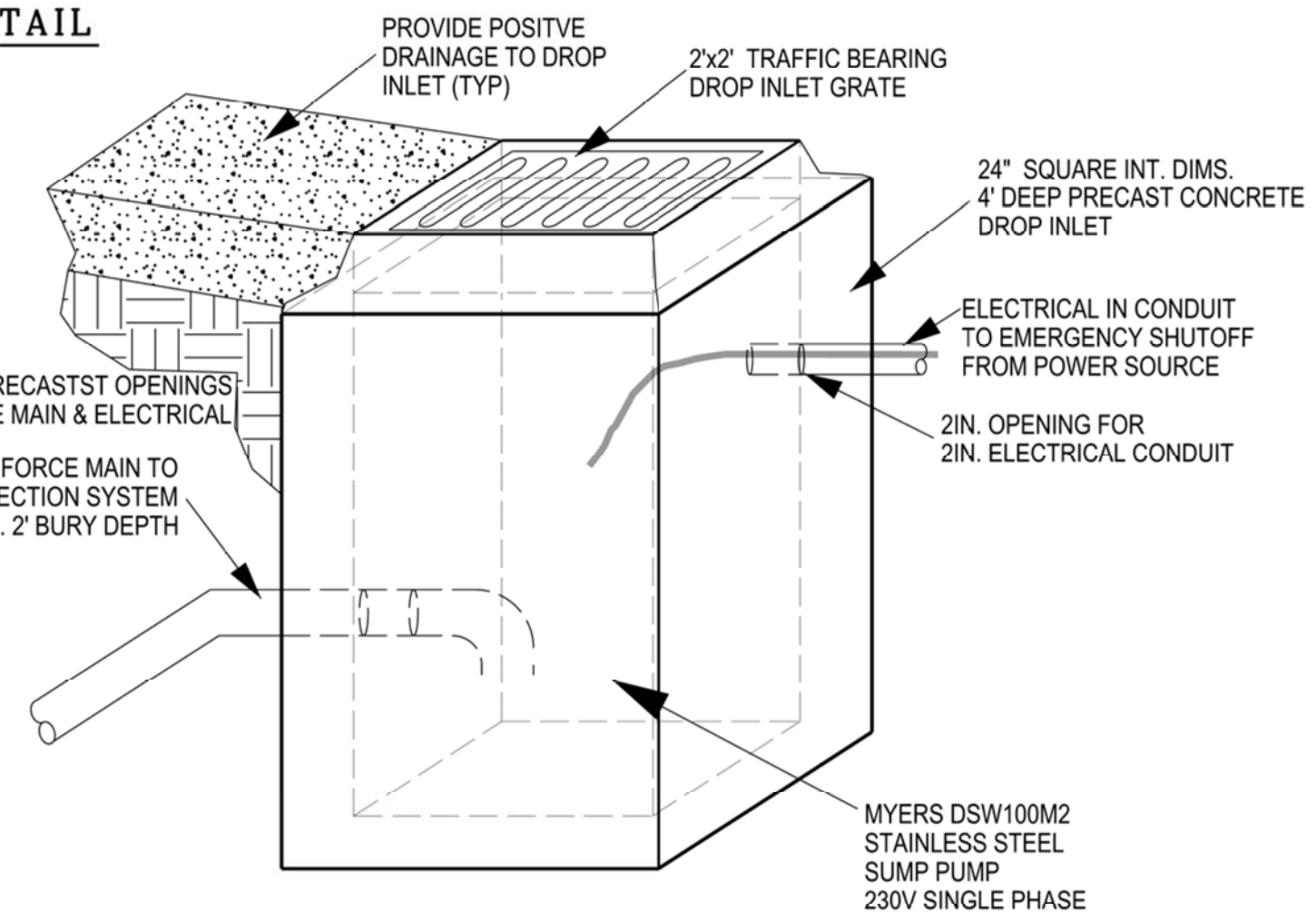
WEIR STRUCTURE DETAIL

BOTH WEIR BOXES JB 1 & JB 5 ARE IDENTICAL



THROAT BOX ENERGY DISSIPATOR DETAIL

TO BE PROVIDED FOR EACH INFILTRATION SYSTEM OUTFALL



LOADING AREA DROP INLET WITH SUMP PUMP DETAIL

CONTRACTOR SHALL PROVIDE SUBMITTAL FOR STRUCTURE, CASTING & PUMP TO ENGINEER

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering DI vision

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

DRAINAGE AREAS MAP

NTS

Professional Engineer Seal for James H. Pentress, Jr., P.E., No. 20643, State of North Carolina.

CITY OF WILMINGTON DRAINAGE DETAILS

CAPE FEAR SOLAR SYSTEMS

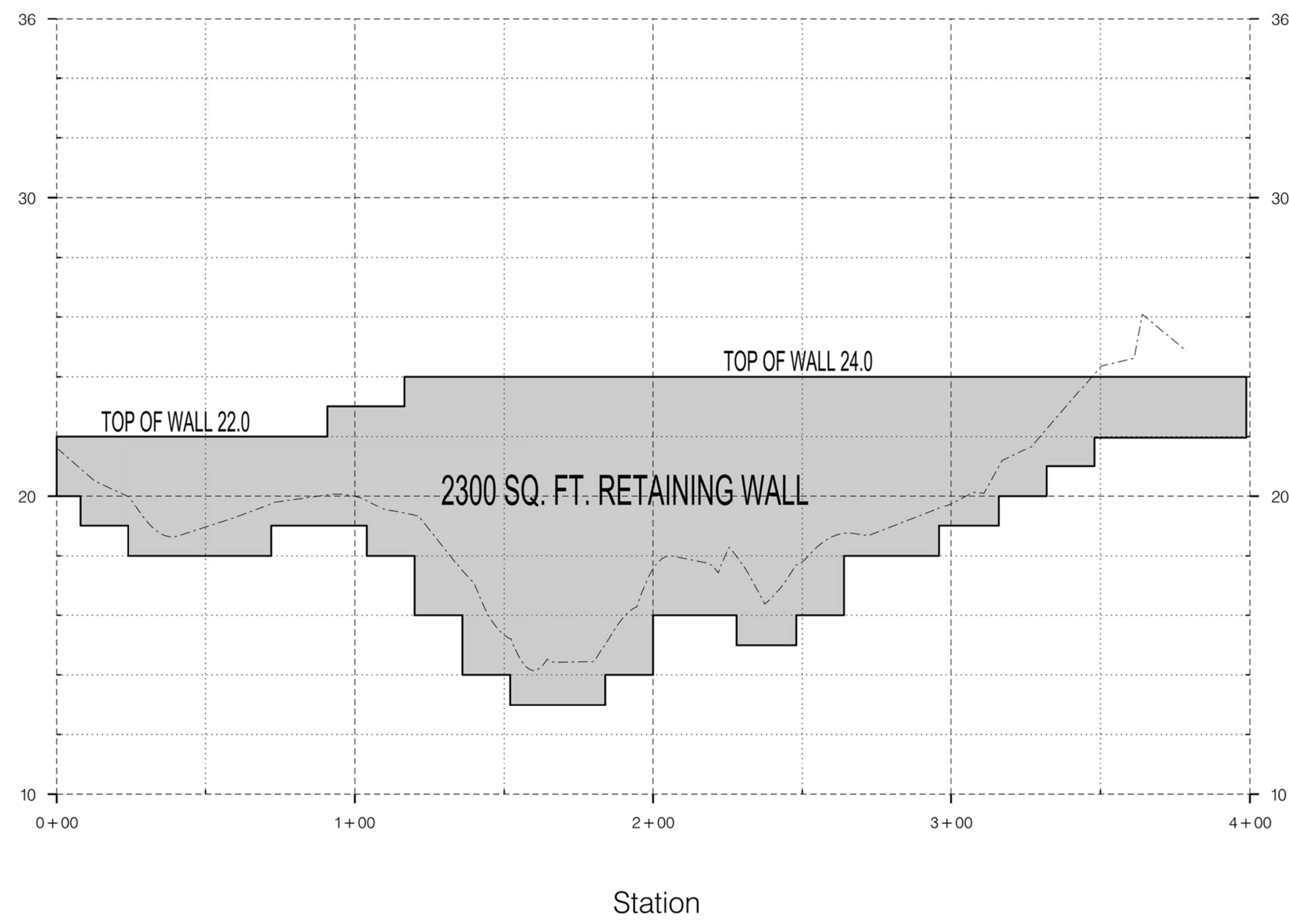
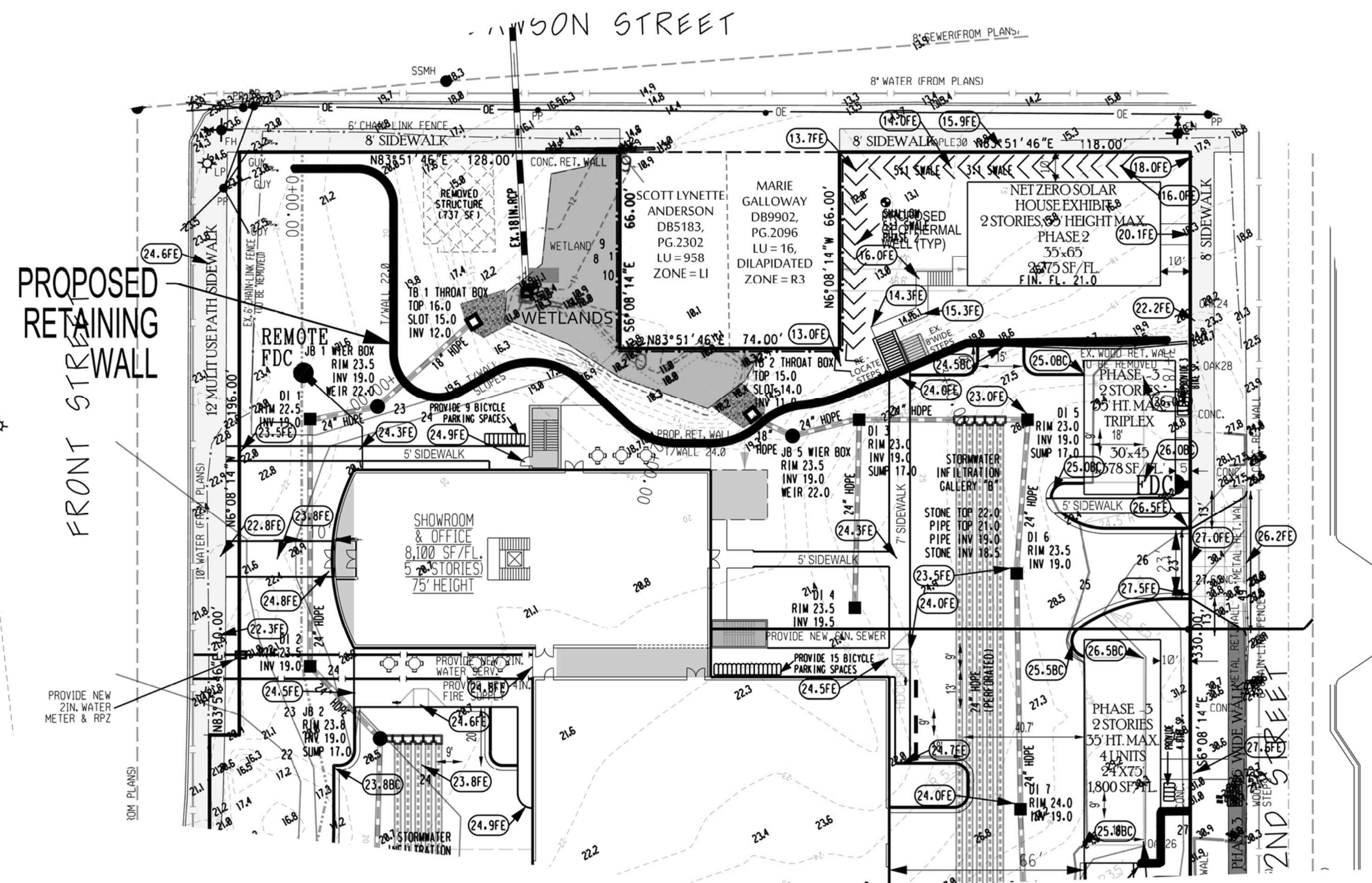
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

DEVELOPER: **Le Dome Holdings LLC**

ADDRESS: JOHN DONOCHIE, 801 MARTIN ST., SUITE C-6, WILMINGTON, NC 28401, 910-409-5353, john@CapeFearSolarSystems.com

DESIGNED: DLM
 DRAWN: JHF
 APPROVED: DLM
 DATE: 3/12/2021
 SCALE: AS NOTED
 SHEET 4 OF 11

STROUD ENGINEERING, P.A.
 102-D CINEMA DRIVE, WILMINGTON, NORTH CAROLINA 28403, (910) 815-0775, (910) 815-0593 FAX



REVISIONS		
BY	NO.	DATE DESCRIPTION

JAMES H. PENTRESS, JR., P.E.

RETAINING WALL PLAN/PROFILE
CAPE FEAR SOLAR SYSTEMS
 WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

OWNER: CAPE FEAR SOLAR SYSTEMS	DESIGNED: JHF
ADDRESS: JOHN DONOGHUE 801 MARTIN ST., SUITE C-6 WILMINGTON, NC 28401 910-409-5353 john@CapeFearSolarSystems.com	DRAWN: JHF
PHONE: 910-409-5353	APPROVED: JHF
STROUD ENGINEERING, P.A. 102-D CINEMA DRIVE WILMINGTON, NORTH CAROLINA 28403 (910) 815-0775 (910) 815-0593 FAX	DATE: 3/19/20 SCALE: 1" = 30' HOR. 1" = 10' VERT.

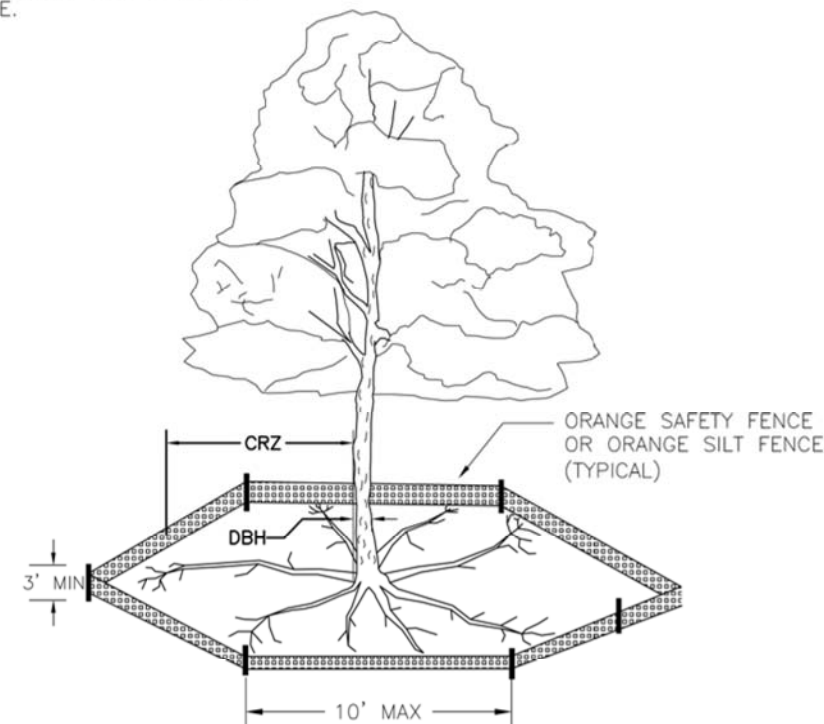
SHEET 5 OF 11

LEGEND

- FH FIRE HYDRANT
- SMH SEWER MAN HOLE
- PP POWER POLE
- OE OVERHEAD ELECTRIC
- LP LIGHT POLE
- EC ELEVATION CONTOUR
- SW STORMWATER
- L1 N83°51'46"E 10.00'
- PROPOSED FINISH GRADE
- FDC PROPOSED LIMITS OF DISTURBANCE
- PROPOSED SILT FENCE
- PROP. FIRE DEPT. CONNECTION

NOTE: THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

NOTE: CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISFIGURE CROWN WITH INTENSIVE PRUNING.



- NOTES:**
- PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
 - CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
 - WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
 - FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
 - FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES MAY RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

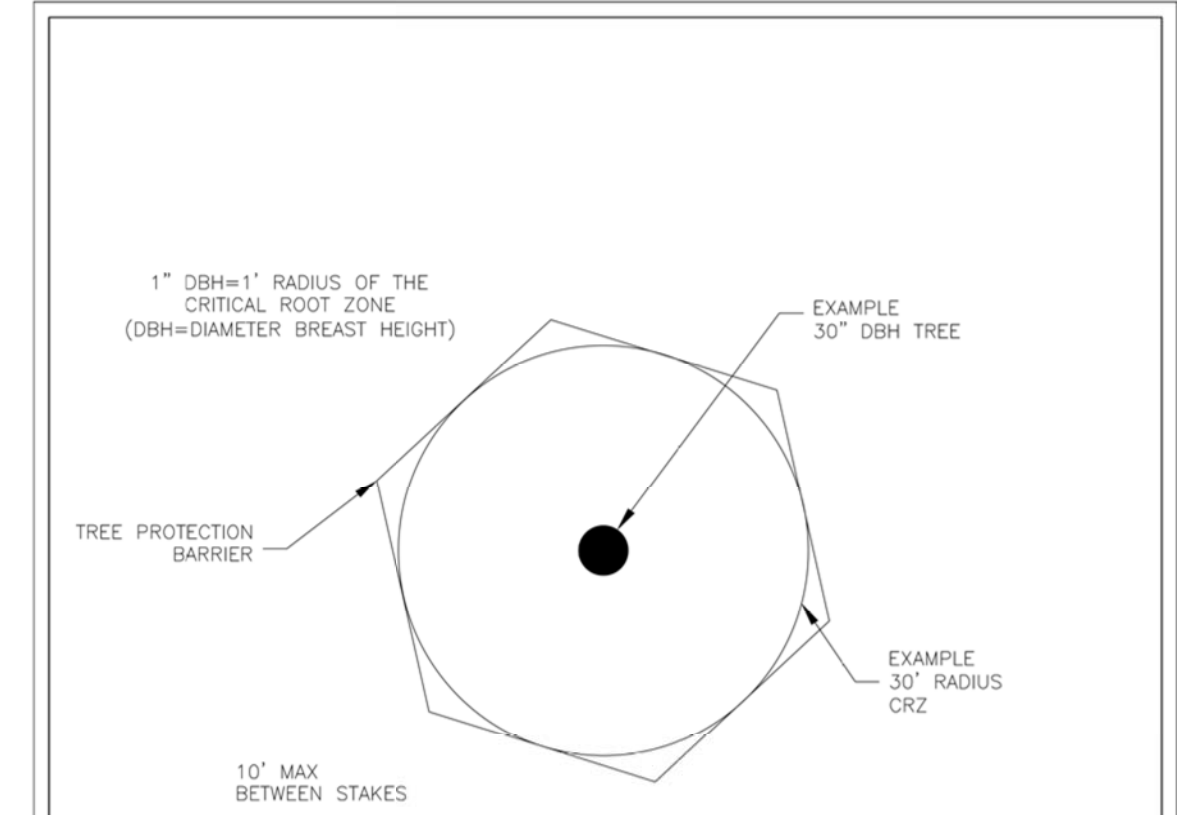
STANDARD DETAIL

TREE PROTECTION DURING CONSTRUCTION

SHEET 1 of 2

SD 15-09

CITY OF WILMINGTON NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807



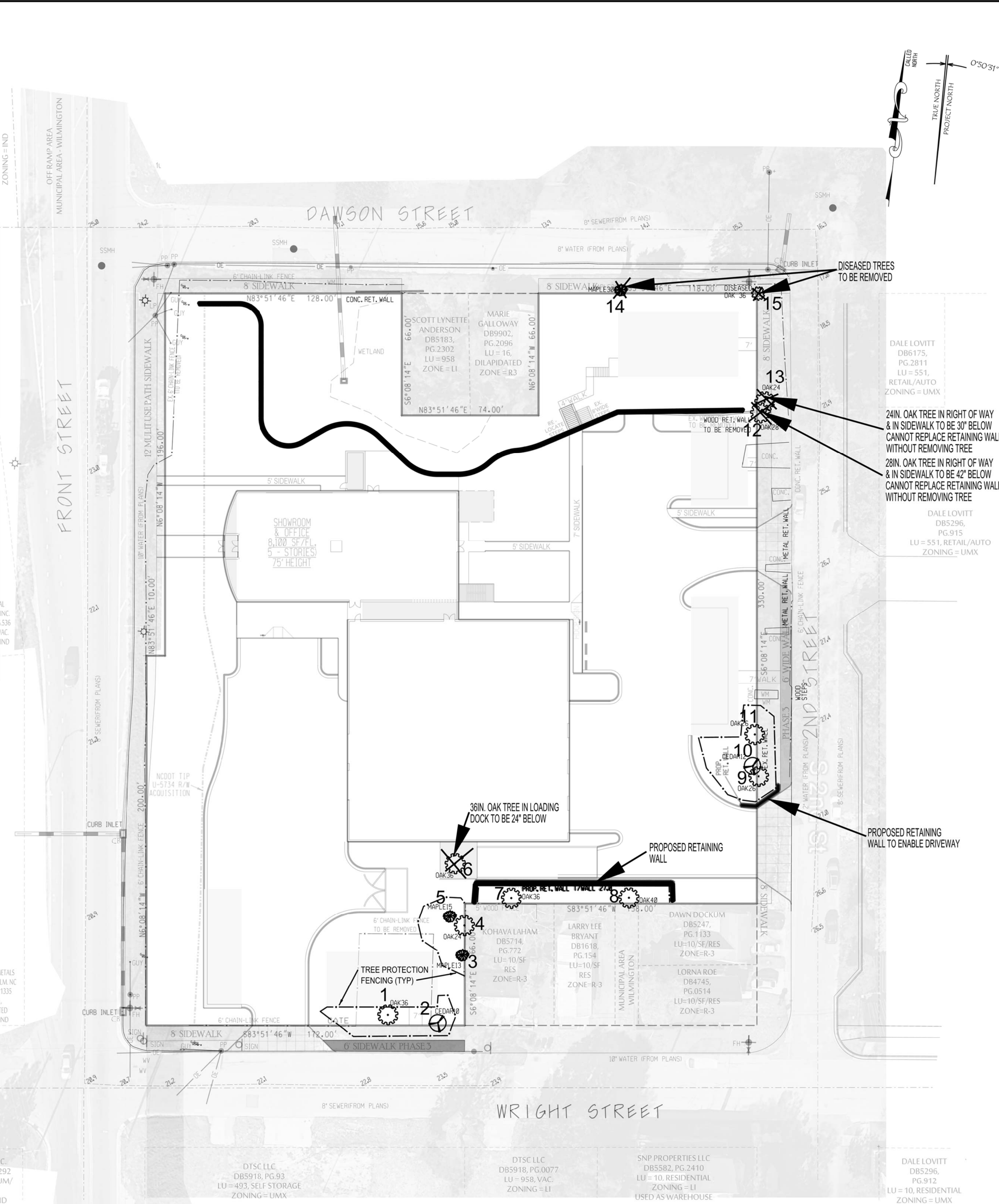
STANDARD DETAIL

TREE PROTECTION DURING CONSTRUCTION

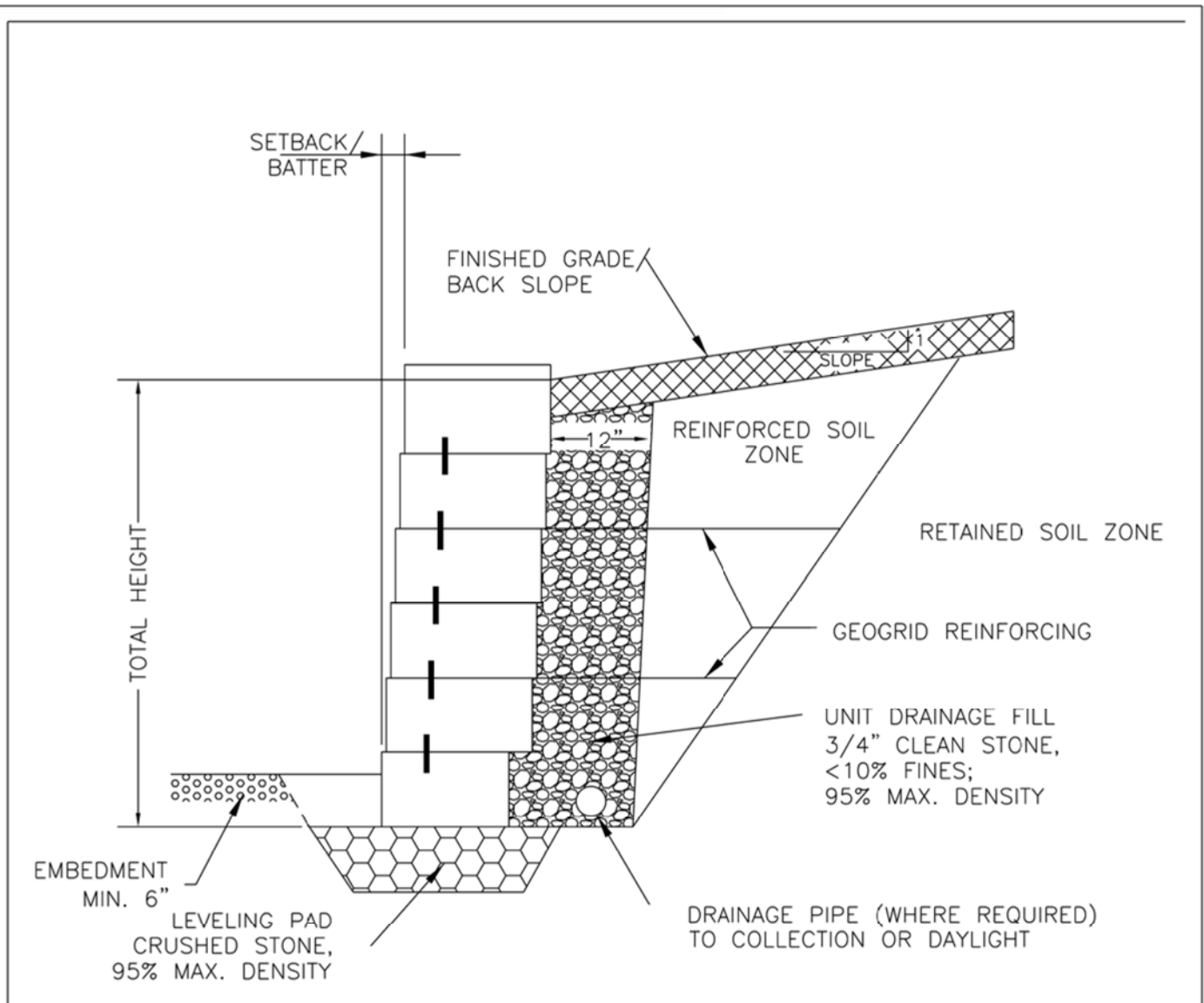
SHEET 2 of 2

SD 15-09

CITY OF WILMINGTON NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807



35 MITIGATION TREES APPROVED BY PERMIT DATED 10/5/20
 2.6 ACRES OF LAND DISTURBANCE REQUIRES 39 MITIGATION TREES
 RETAINED SIGNIFICANT TREES EQUATE TO 41 MITIGATION CREDIT TREES
 FOR THIS REASON:
 PRIOR APPROVED 35 MITIGATION TREES IS REDUCED TO 33 3IN. TREES..



- ALL RETAINING WALL DESIGNS (GRAVITY AND REINFORCED) ARE SUBJECT TO REVIEW AND APPROVAL BY CITY ENGINEER.
- RETAINING WALLS GREATER THAN 4' SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.

STANDARD DETAIL

TYPICAL RETAINING WALL ≤ 4'

SD 3-105

CITY OF WILMINGTON NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

Date: _____ Permit # _____

Signed: _____

TREE PRESERVATION PLAN

CAPE FEAR SOLAR SYSTEMS

WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

OWNER: **Le Dome Holdings LLC**

ADDRESS: JOHN DONOGHUE 810 MARTIN ST. UNIT A WILMINGTON, NC 28401 910-409-5353 john@CapeFearSolarSystems.com

DESIGNED: JHF

DRAWN: JHF

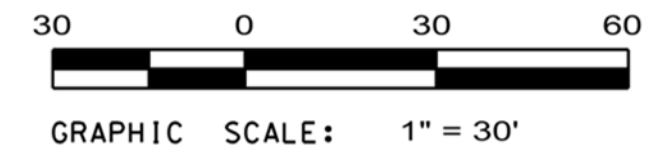
APPROVED: JHF

DATE: 4/15/21

SCALE: 1" = 30'

SHEET 6 OF 11

STROUD ENGINEERING, P.A. 102-D CINEMA DRIVE WILMINGTON, NORTH CAROLINA 28403 (910) 815-0775 (910) 815-0593 FAX



SEAL 20643

JAMES H. FENTRESS, JR., P.E.

DATE: 4/15/21

TRACT AREA --- 2.6 AC
 ADDRESS --- 910 S. 2ND STREET
 ZONING --- UMX-URBAN MIX USE
 BUILDINGS PROPOSED ---
 TAX PIN --- 805413-002-000-000
 DEED BOOK/PAGE --- S845/629
 CAMA LU --- URBAN
 BUILDING SETBACKS
 FRONT --- 10' MAX
 SIDE --- 5'
 REAR --- 5' SUP. REQUIRED
 BUILDING HEIGHT --- 32'-0" SUP. 20'-0" 6.94 SF INTERIOR SHADING REQ.
 RECYCLING STREAM --- CAPE FEAR RIVER
 CLASSIFICATION --- SC
 REQUIRED PARKING --- 38 SPACES PROVIDED
 PROP. PARKING SPACES --- 2 HANDICAP PROVIDED
 LATITUDE --- 34°13'24.38" N
 LONGITUDE --- 77°56'47.9" W

SITE DATA

1. Variances on stall widths, angle and other dimensions will be allowed only upon approval of the Traffic Engineer.
2. Wheel stops shall be required three (3) feet from the end of parking stall when using eighteen (18) feet deep stalls.
3. Curbing, cross-ties, utility poles, etc., can be used as wheel stops. (Must be anchored down)
4. All medians shall be a minimum of six (6) feet wide.
5. Parking bays which terminate at a circulation way shall provide for a minimum turning radius of twenty-five (25) feet, as measured from the edge of the travel portion.
6. All parking stall markings and lane arrows shall be white.
7. All other pavement markings, signs or other traffic control devices shall conform to the latest edition and/or interpretation of the Manual on Uniform Traffic Control Devices (MUTCD).
8. No obstructions will be allowed adjacent to a parking stall which would prevent safe ingress and egress from a parked vehicle.
9. Parking in fire lanes and in non-residential driveways shall be prevented by standard signs and as needed by portable barricades.

STANDARD DETAIL
 DATE: 2001
 DRAWN BY: JHC/MB
 CHECKED BY: B.P.F.E.
 SCALE: NOT TO SCALE

PARKING FACILITY DESIGN NOTES

WILMINGTON
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807
 SD 15-13

1. No plantings over thirty (30) inches in height allowed in vision clearance.
2. Protection from vehicular traffic provided around all landscaping with a minimum height of six (6) inches.
3. Owner is responsible for maintenance to ensure plant material lives and prospers.
4. Planting plans shall be approved by Landscape Designer prior to installation.
5. Landscaping shall be required at the ends of all parking rows.
6. A low buffer shall be required where parking is within fifty (50) feet of the Right-of-Way.
7. Landscaped islands shall be a minimum width of twelve (12) feet (back of curb to back of curb) and a minimum of two hundred and sixteen (216) square feet.
8. A minimum of fifteen (15) trees 2 inches or greater in diameter as measured 6 inches above ground per disturbed acre.
9. For recommended Plant List see "Landscape" T-10.4.

STANDARD DETAIL
 DATE: APRIL 2008
 DRAWN BY: JHC
 CHECKED BY: B.P.F.E.
 SCALE: NOT TO SCALE

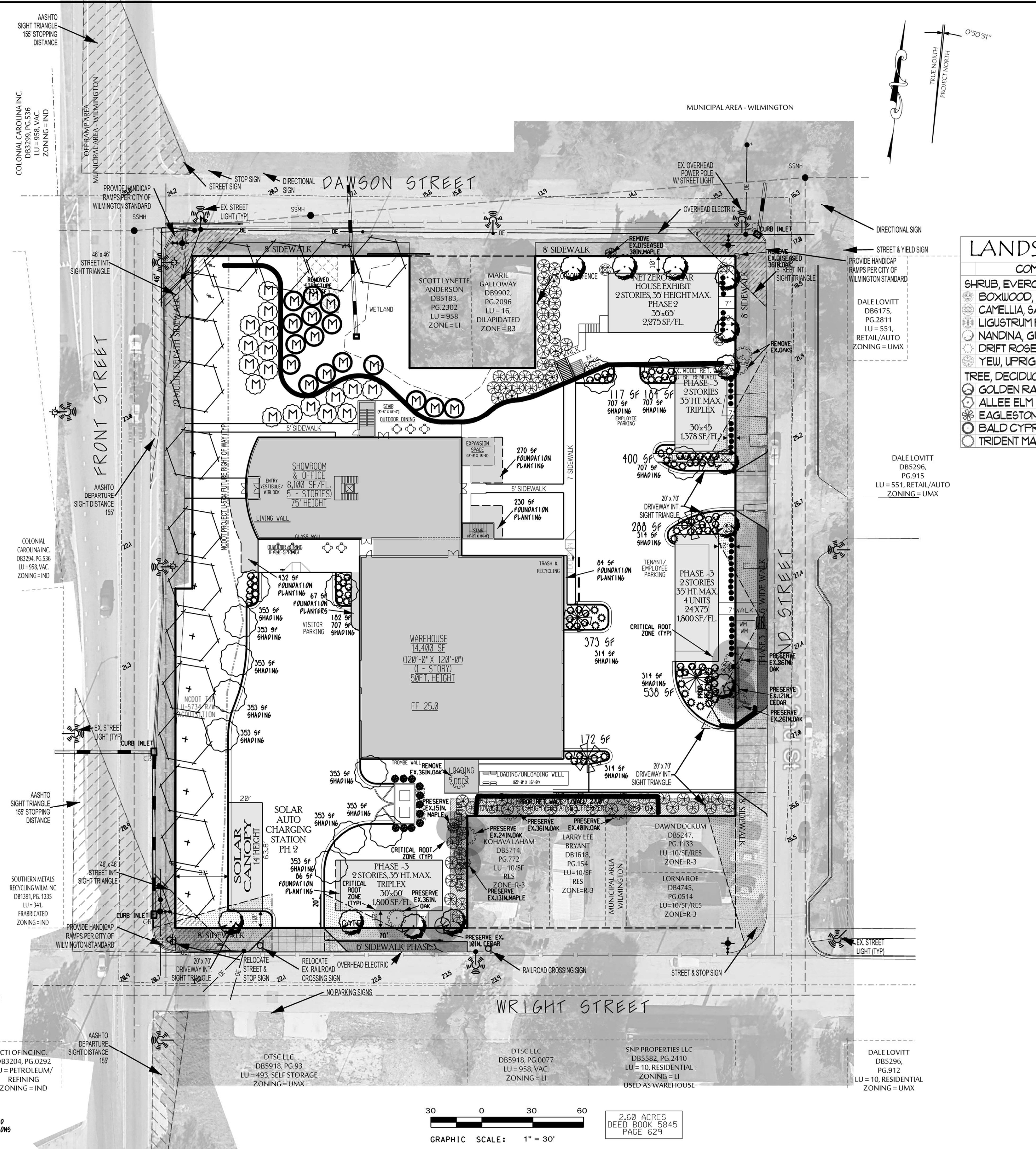
LANDSCAPE NOTES

WILMINGTON
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807
 SD 15-14

STREET TREE CALCULATIONS
 1144 LF OF FRONTAGE @ 1 STREET TREE EVERY 30' THEREFORE 39 STREET TREES

FOUNDATION PLANTING CALCULATIONS
 FRONT STREET SIDE OF OFFICE ADJACENT PARKING
 61 LF OF 59 FT. TALL OFFICE FACADE - 3599 SF X 12X - 432 SF
 FRONT STREET SIDE OF WAREHOUSE ADJACENT PARKING
 35 LF OF 16 FT. TALL WAREHOUSE FACADE - 560 SF X 12X - 67 SF
 SECOND STREET SIDE OF OFFICE ADJACENT PARKING
 70 LF OF 59 FT. TALL OFFICE FACADE - 4130 SF X 12X - 496 SF
 SECOND STREET SIDE OF WAREHOUSE ADJACENT PARKING
 44 LF OF 16 FT. TALL WAREHOUSE FACADE - 704 SF X 12X - 84 SF
 PHASE 3 RESIDENTIAL DRIVE ALONG FRONT STREET
 30 LF OF 24 FT. TALL MULTI-FAMILY BUILDING - 720 SF X 12X - 86 SF

NOTE: BUILDING FRONTAGE ENABLING VEHICULAR ACCESS TO PARKING EITHER IN OR UNDER BUILDING CONSIDERED EXEMPT FROM FOUNDATION PLANTING REQUIREMENTS. FOUNDATION PLANTING SHALL INCLUDE A MIX OF SHOUBERRY AND GROUND COVER AS ALLOWED BY THE CITY OF WILMINGTON TECHNICAL SPECIFICATIONS AND STANDARD DETAILS.



LANDSCAPE NOTES:
 1. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 2. THE AREAS WITHIN THE TRIANGULAR SIGHT DISTANCE SHALL BE MAINTAINED FREE OF ALL OBSTRUCTIONS BETWEEN 0' AND 10'.
 3. A RAINFREEZE SENSOR SHALL BE USED IF THERE IS AN IRRIGATION SENSOR.
 4. USING THE CREATIVE STANDARD OF THE CODE, 60% OF THE STREETSWARD SHALL BE PLANTED AS CALLED OUT.
 5. ALL PLANT BEDS ARE TO RECEIVE 3-4" OF PINESTRAW OR MULCH.
 6. LANDSCAPING SHALL BE COMPLETE BEFORE ISSUANCE OF A CO.

Parking Lot Shading LS Requirements
 6,594 SF Shading Req'd
 353 x 8 = 2824 SF
 314 x 4 = 1,256 SF
 707 x 4 = 2,828 SF
 TOTAL SHADING PROVIDED = 6,908 SF

Mitigation Requirements:
 128' & 124' OAKS TO BE MITIGATED.
 35 MITIGATION TREES APPROVED BY PERMIT DATED 10/5/20
 2.6 ACRES OF LAND DISTURBANCE REQUIRES 39 MITIGATION TREES
 RETAINED SIGNIFICANT TREES EQUATE TO 41 MITIGATION CREDIT TREES
 FOR THIS REASON:
 PRIOR APPROVED 35 MITIGATION TREES IS REDUCED TO 33.

LEGEND

- FH FIRE HYDRANT
- SMH SEWER MAN HOLE
- PP POWER POLE
- OE OVERHEAD ELECTRIC
- LP LIGHT POLE
- EC ELEVATION CONTOUR
- SW STORMWATER
- N83°51'46"E 10.00'
- PROPOSED FINISH GRADE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED SILT FENCE
- PROP. FIRE DEPT. CONNECTION

LANDSCAPE LEGEND

COMMON NAME	QTY	QTY REQ'D	HT	SIZE/CALIFER
SHRUB, EVERGREEN BROADLEAF				
BOXWOOD, WINTERGREEN	38	38	12"	3 GAL
CAMELLIA, SASANQUA 'YULETIDE'	7	7	12"	7 GAL
LIGUSTRUM RECURVE	71	71	36"	7 GAL
NANDINA, GULFSTREAM	61	0	NA	3 GAL
DRIFT ROSE	36	0	NA	3 GAL
YEW, UPRIGHT JAPANESE	11	11	3'	7 GAL
TREE, DECIDUOUS				
GOLDEN RAINTREE	14	0	14	2" CAL
ALLEE ELM	16	0	16	2" CAL
EAGLESTON HOLLY, TREE FORM	4	0	4	2" CAL
BALD CYPRESS	35	35	0	2" CAL
TRIDENT MAPLE	30	17	13	2" CAL

MITIGATION

COMMON NAME	QTY	QTY REQ'D	HT	SIZE/CALIFER
GOLDEN RAINTREE	14	0	14	2" CAL
ALLEE ELM	16	0	16	2" CAL
EAGLESTON HOLLY, TREE FORM	4	0	4	2" CAL
BALD CYPRESS	35	35	0	2" CAL
TRIDENT MAPLE	30	17	13	2" CAL

CANOPY CANOPY UNDERSTORY CANOPY CANOPY

NOTE: THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS GROW TO PRODUCE OXYGEN, FILTER LAIR, REDUCE WIND AND SOFTEN NOISE. IN THE TOP 24" OF THE SOIL, AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

NOTE: CROWN OF TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER LAIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISTURB CROWN WITH INTENSIVE PRUNING.

STANDARD DETAIL
 DATE: NOV 2011
 DRAWN BY: JHC
 CHECKED BY: B.P.F.E.
 SCALE: NOT TO SCALE

TREE PROTECTION DURING CONSTRUCTION

WILMINGTON
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807
 SD 15-09

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

Approved Construction Plan
 Name _____ Date _____

Planning _____
 Traffic _____
 Fire _____

Date: _____ Permit #: _____
 Signed: _____

LANDSCAPE PLAN
CAPE FEAR SOLAR SYSTEMS
 WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

OWNER: Le Dome Holdings LLC
ADDRESS: JOHN DONOHUE 910 MARTIN ST. UNIT A WILMINGTON, NC 28401 910-409-5353 john@CapeFearSolarSystems.com
PHONE:

DESIGNED: JHF
DRAWN: JHF
APPROVED: JHF
DATE: 2/26/21
SCALE: 1" = 30'
SHEET 7 OF 11

STROUD ENGINEERING, P.A.
 102-D CINEMA DRIVE WILMINGTON, NORTH CAROLINA 28403 (910) 815-0775 (910) 815-0593 FAX

CTI OF NC INC DB3204, PG.0292 LU=441, FABRICATED ZONING=IND

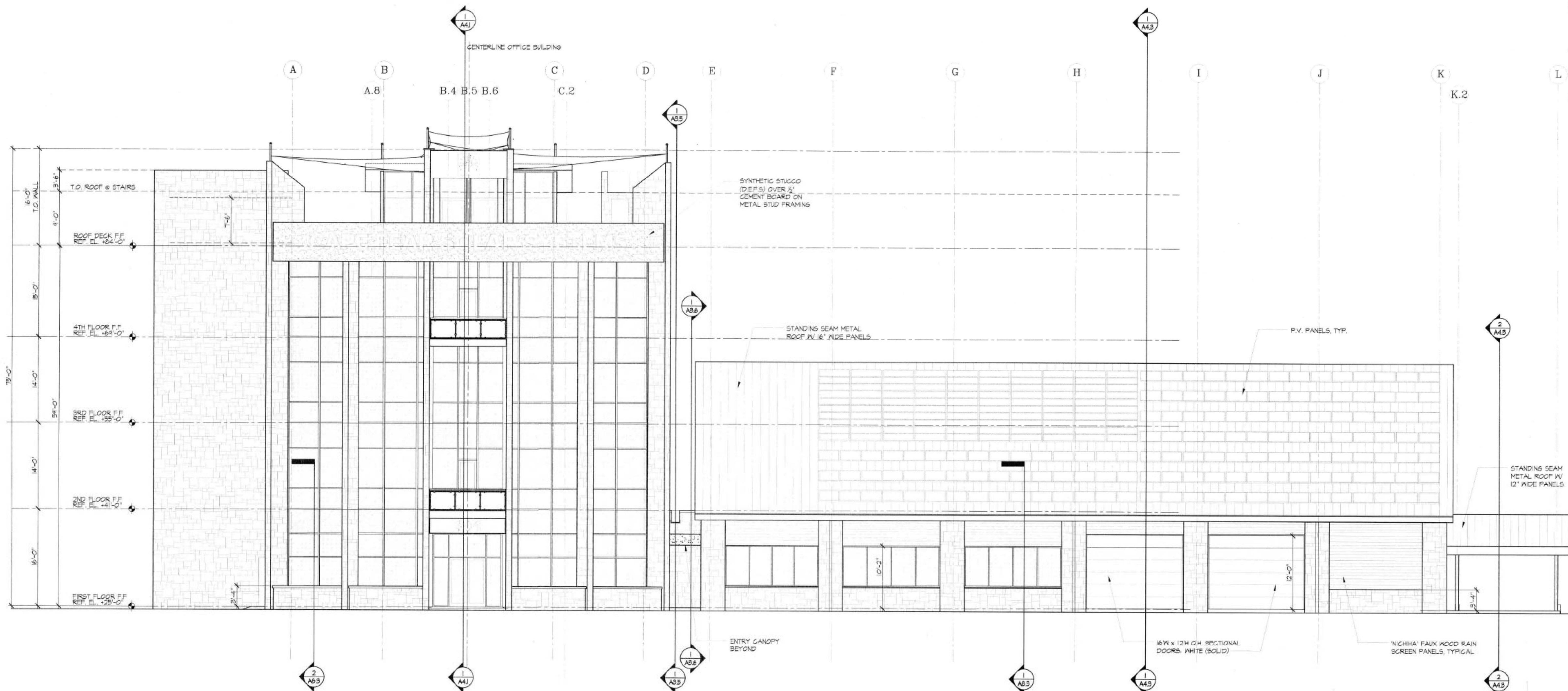
DTSC LLC DB5918, PG.03 LU=493, SELF STORAGE ZONING=UMX

SNP PROPERTIES LLC DB5582, PG.2410 LU=10, RESIDENTIAL ZONING=LI USED AS WAREHOUSE

DALE LOVITT DB5296, PG.912 LU=10, RESIDENTIAL ZONING=UMX

30 0 30 60
 GRAPHIC SCALE: 1" = 30'

2.60 ACRES DEED BOOK 5845 PAGE 629



1 FRONT STREET (WEST) ELEVATION
SCALE: 1/8" = 1'-0"

FUTURE PHASE BUILDING DESIGN SHALL COMPLY WITH THE CITY OF WILMINGTON DEVELOPMENT CODE SECTION 18-204(d)(2).

Preliminary Drawings (not for construction)

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"SPINDLETOP"
New Office-Warehouse Facility
For: Cape Fear Solar Systems
910 South Front Street, Wilmington, NC, 28401

REVISIONS #	Description	Date

Front Street (West) Elevation

Project #1804

Scale: As Shown

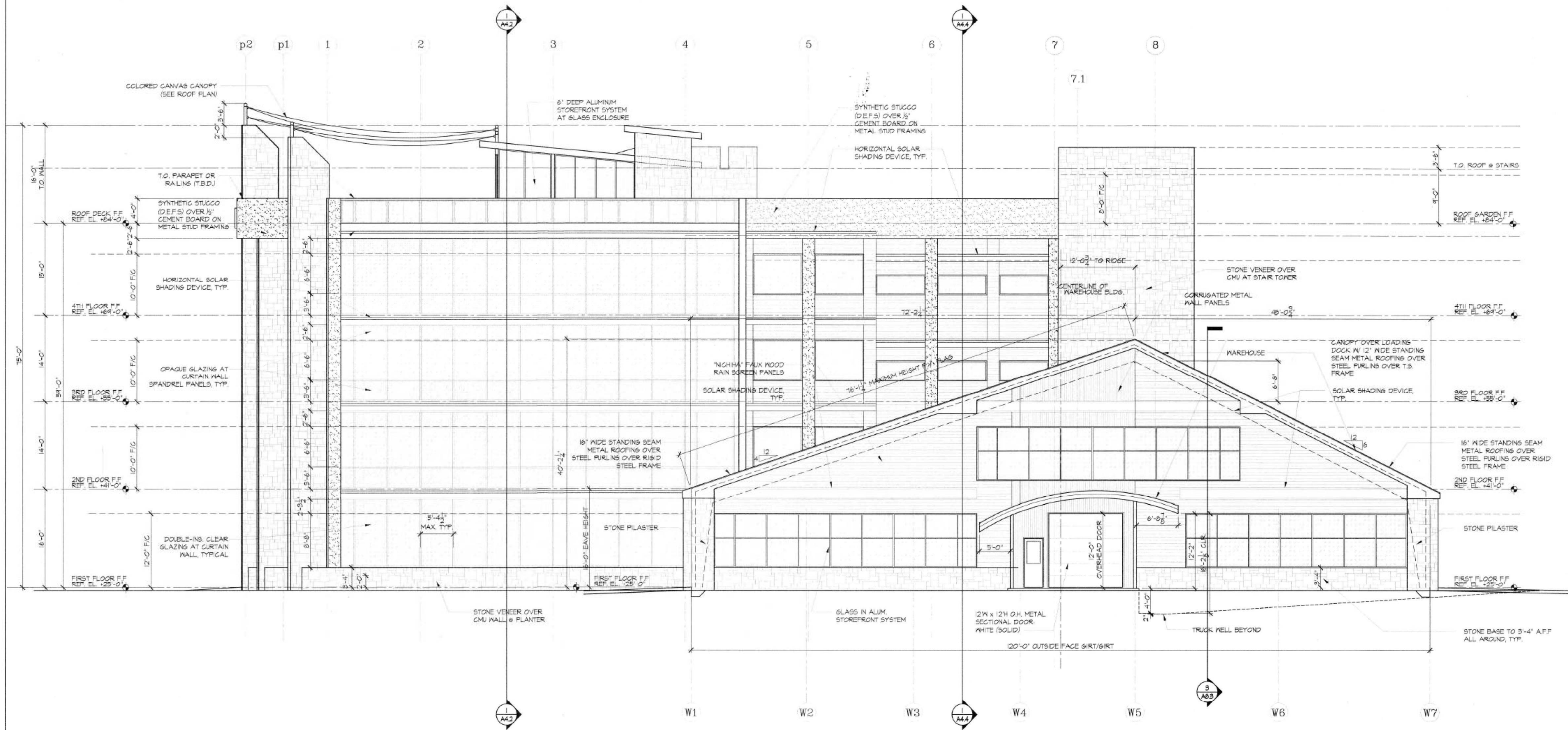
Drawn By: MJC/DEL/VW
Checked: MJC

Date: 04/07/2020

Sheet #

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RESIDENTIAL / COMMERCIAL SOLAR ENERGY SOLUTIONS
ALTERNATIVE ARCHITECTURE
Michael J Connor, Architect
E-Mail: AltArVnc@BellSouth.net
100 West Green, Wilmington, NC 28401-3102



1 WRIGHT STREET (SOUTH) ELEVATION
SCALE: 1/8" = 1'-0"

FUTURE PHASE BUILDING DESIGN SHALL COMPLY WITH THE CITY OF WILMINGTON DEVELOPMENT CODE SECTION 18-204(d)(2).

Preliminary Drawings (not for construction)

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"SPINDLETOP"
New Office-Warehouse Facility
For: Cape Fear Solar Systems
910 South Front Street, Wilmington, NC, 28401

REVISIONS #	Description	Date

Wright St. (South) Elevation

Project #1804

Scale: As Shown

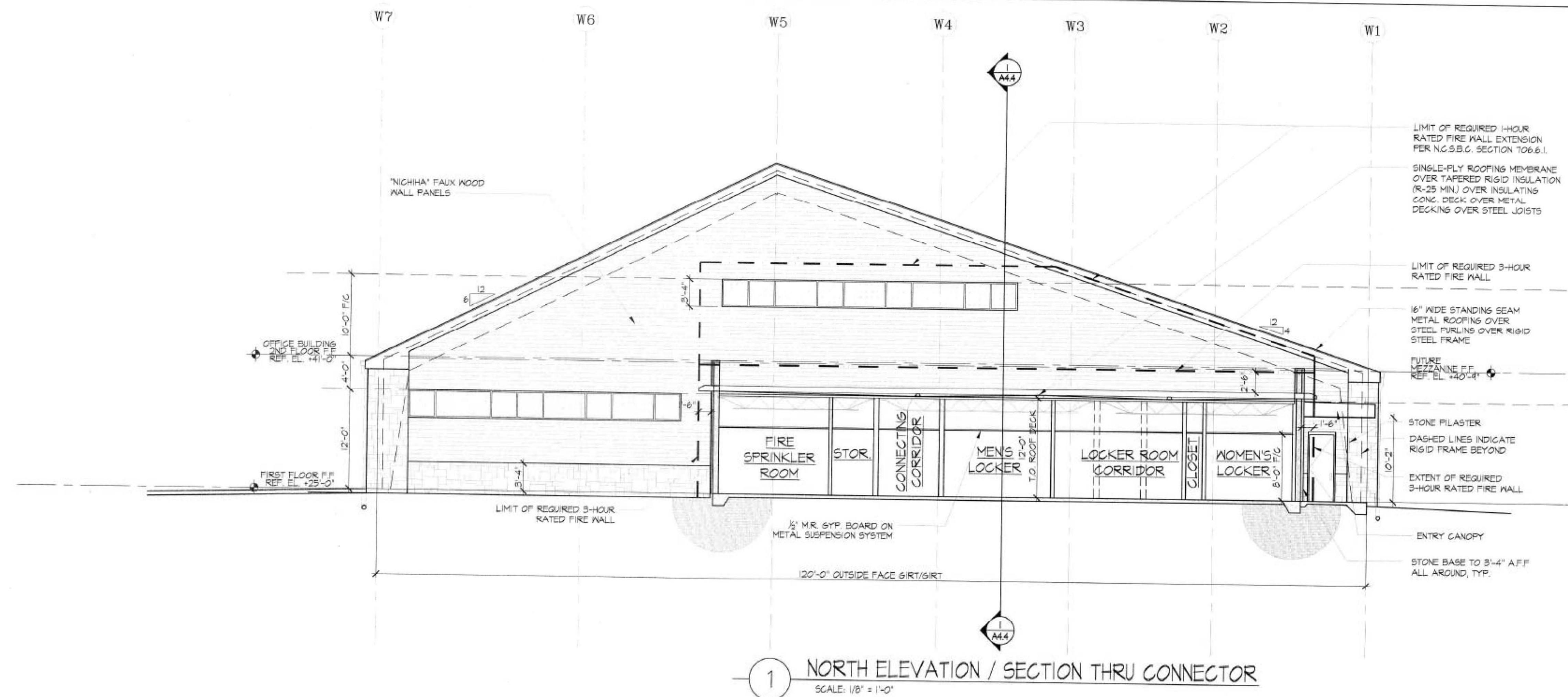
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Checked: MJC

Date: 04/07/2020

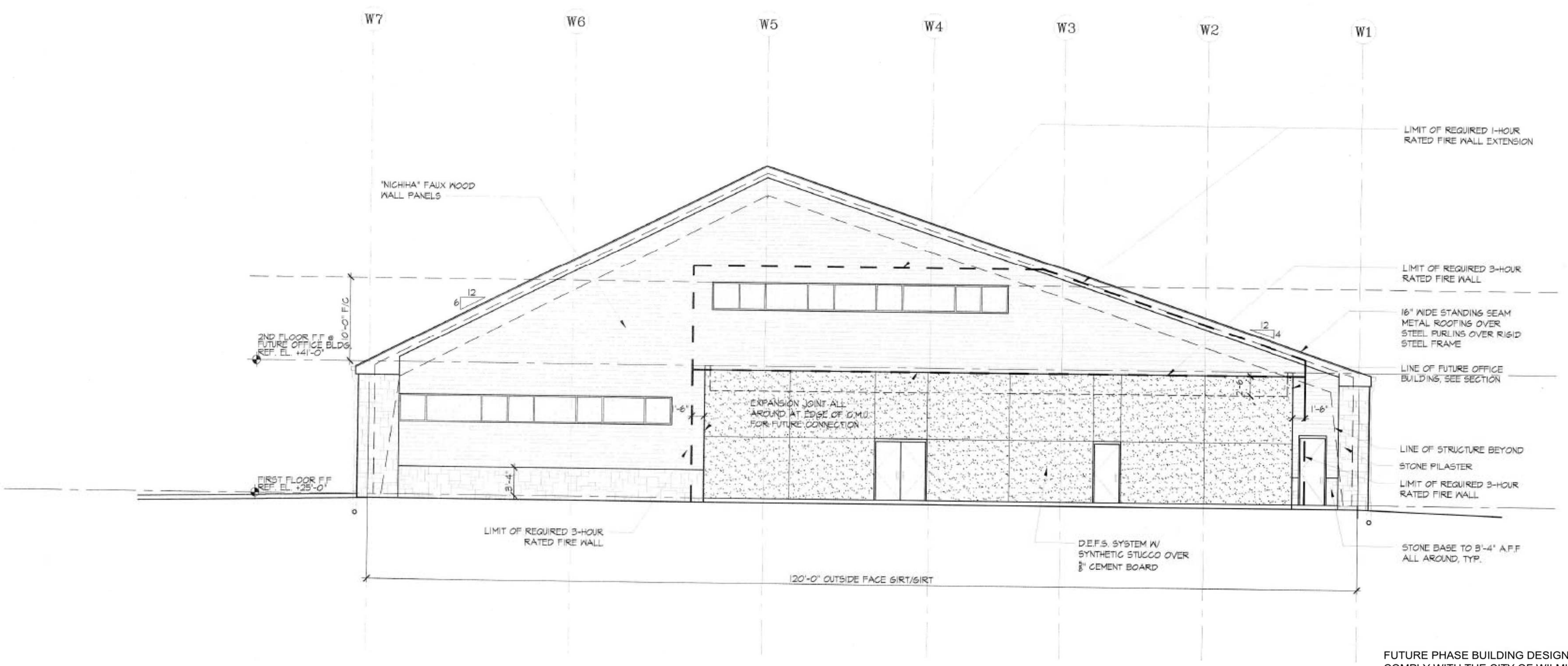
Sheet #

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RESIDENTIAL COMMERCIAL SOLAR ENERGY SOLUTIONS
ALTERNATIVE ARCHITECTURE
Michael J Connor, Architect
E-Mail: A1terAr@B-B.com
100 Bluffs Court, Wilmington, NC 28401



1 NORTH ELEVATION / SECTION THRU CONNECTOR
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION OF WAREHOUSE: PRE-OFFICE BUILDING
SCALE: 1/8" = 1'-0"

Preliminary Drawings (not for construction)

RESIDENTIAL / COMMERCIAL
SOLAR ENERGY SOLUTIONS

ALTERNATIVE
ARCHITECTURE

Michael J Connor, Architect
E-Mail: AlconA@BellSouth.net
450 N. Moore Ave., Suite 100, Wilmington, NC 28401

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"SPINDLETOP"
New Office-Warehouse Facility
For: Cape Fear Solar Systems
910 South Front Street, Wilmington, NC, 28401

REVISIONS	Description	Date
#		

Warehouse
North Elevation/
Section

Project #1804

Scale: As Shown

Drawn By: MJC/DEL/VW
Checked: MJC

Date: 04/07/2020

Sheet #

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